

**For Internal Use Only**



**BALTIMORE CITY COUNCIL  
WAYS AND MEANS  
COMMITTEE**

*Mission Statement*

*The Committee on Ways and Means (WM)* is responsible for ensuring taxpayer dollars are expended prudently and equitably. WM will exercise regular oversight of the City's budget, expenditures, loans, and other financial matters. The committee's areas of jurisdiction include: budget & appropriations, taxation, financial services, consumer protection, audits, and the Comptroller's Office.

**The Honorable Eric T. Costello  
Chairman**

**PUBLIC HEARING**

**TUESDAY, September 10, 2024  
10:02 AM**

**COUNCIL CHAMBERS**

**Council Bill #24-0560**

**Sale of Property - 1012 East 43rd Street**

# CITY COUNCIL COMMITTEES

## **ECONOMIC AND COMMUNITY DEVELOPMENT (ECD)**

Sharon Green Middleton, Chair  
John Bullock – Vice Chair  
Mark Conway  
Ryan Dorsey  
Antonio Glover  
Odette Ramos  
Robert Stokes  
*Staff: Anthony Leva (410-396-1091)*

## **WAYS AND MEANS (W&M)**

Eric Costello, Chair  
Kristerfer Burnett  
Ryan Dorsey  
Danielle McCray  
Sharon Green Middleton  
Isaac “Yitzy” Schleifer  
Robert Stokes  
*Staff: Niya N. Garrett (410-396-1268)*

## **PUBLIC SAFETY AND GOVERNMENT OPERATIONS (SGO)**

Mark Conway – Chair  
Kristerfer Burnett  
Zeke Cohen  
Erick Costello  
Antonio Glover  
Phylicia Porter  
Odette Ramos  
*Staff: Anthony Leva (410-396-1091)*

## **FINANCE AND PERFORMANCE (FP)**

John Bullock, Chair  
Eric Costello, Vice Chair  
Isaac “Yitzy” Schleifer  
Danielle McCray  
Phylicia Porter  
*Staff: Marguerite Currin (443-984-3485)*

## **COMMITTEE OF THE WHOLE (COW)**

President Nick Mosby, Chair  
All City Council Members  
*Staff: Larry Greene (410-396-7215)*

## **EDUCATION, WORKFORCE, AND YOUTH (EWY)**

Robert Stokes – Chair  
John Bullock  
Zeke Cohen  
Antonio Glover  
Sharon Green Middleton  
Phylicia Porter  
James Torrence  
*Staff: Deontre Hayes (410-396-1260)*

## **HEALTH, ENVIRONMENT, AND TECHNOLOGY (HET)**

Danielle McCray – Chair  
John Bullock  
Mark Conway  
Ryan Dorsey  
Phylicia Porter  
James Torrence  
Isaac “Yitzy” Schleifer  
*Staff: Deontre Hayes (410-396-1260)*

## **RULES AND LEGISLATIVE OVERSIGHT (OVERSIGHT)**

Isaac “Yitzy” Schleifer, Chair  
Kristerfer Burnett  
Mark Conway  
Eric Costello  
Sharon Green Middleton  
Odette Ramos  
James Torrence  
*Staff: Richard Krummerich (410-396-1266)*

## **LEGISLATIVE INVESTIGATIONS (LI)**

Eric Costello, Chair  
Sharon Green Middleton, Vice Chair  
Isaac “Yitzy” Schleifer  
Robert Stokes  
Danielle McCray  
*Staff: Marguerite Currin (443-984-3485)*



**BILL SYNOPSIS**

**Committee: Ways and Means**

**Bill: 24-0560**

---

**Sale of Property – 1012 East 43<sup>rd</sup> Street**

---

**Sponsor:** Department of Real Estate

**Introduced:** Jul 22, 2024

**For the purpose of** authorizing the Mayor and City Council of Baltimore to sell, at either public or private sale, all its interest in certain property that is located at 1012 East 43rd Street (Block 5192, Lot 059) and is no longer needed for public use; and providing for a special effective date.

**Effective:** On the date it is enacted

---

**Agency Reports**

|   |                      |
|---|----------------------|
| Law   | Favorable            |
| Department of Housing and Community Development | Favorable            |
| Department of Finance                           | None as this writing |
| Department of Planning                          | Favorable            |
| Department of Real Estate                       | Favorable            |
| Office of Equity and Civil Rights               | Favorable            |

---

**Analysis**

**Current Law**

Article V – Comptroller; Section 5(b); Baltimore City Charter; (1996 Edition) outlines the rules, regulations, and mandates for Sale of Properties.

## **Background**

1012 East 43<sup>rd</sup> Street is in the 4<sup>th</sup> Council district in Baltimore City's Wilson Park neighborhood.

If approved, Council Bill 24-0560 would allow the sale of the property located at 1012 East 43<sup>rd</sup> Street (Block 5192, Lot 059) to KidzStuff Child Care Center. The property is a vacant grassy strip of land with a large overgrown tree located next to 1010 East 43<sup>rd</sup> Street, which is owned by KidzStuff Child Care Center. The organization would like to purchase the city-owned vacant property to expand its building at 1010 43<sup>rd</sup> for a new childcare center that will serve children with disability in an early learning center.

Also, see the attached pictures.

---

## **Additional Information**

**Fiscal Note:** None.

**Information Source(s):** 24-0560, Baltimore City Code, and all agency reports received as of this writing.

---

Analysis by: Niya N. Garrett  
Analysis Date: 09/05/2024

Direct Inquiries to (410) 396-1268

SPEED  
HUMP  
AHEAD



**CITY OF BALTIMORE  
COUNCIL BILL 24-0560  
(First Reader)**

---

Introduced by: The Council President  
At the request of: The Comptroller (Department of Real Estate)  
Introduced and read first time: July 22, 2024  
Assigned to: Ways and Means Committee

---

REFERRED TO THE FOLLOWING AGENCIES: City Solicitor, Department of Finance, Department of Planning, Department of Housing and Community Development, Office of Equity and Civil Rights, Department of Real Estate

---

A BILL ENTITLED

1 AN ORDINANCE concerning

2 **Sale of Property – 1012 East 43<sup>rd</sup> Street**

3 FOR the purpose of authorizing the Mayor and City Council of Baltimore to sell, at either public  
4 or private sale, all its interest in certain property that is located at 1012 East 43<sup>rd</sup> Street  
5 (Block 5192, Lot 059) and is no longer needed for public use; and providing for a special  
6 effective date.

7 BY authority of  
8 Article V - Comptroller  
9 Section 5(b)  
10 Baltimore City Charter  
11 (1996 Edition)

12 **SECTION 1. BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF BALTIMORE**, That, in  
13 accordance with Article V, § 5(b) of the City Charter, the Comptroller of Baltimore City may  
14 sell, at either public or private sale, all the interest of the Mayor and City Council of Baltimore in  
15 the property located at 1012 East 43<sup>rd</sup> Street (Block 5192, Lot 059), containing 5,201 square feet,  
16 more or less of unimproved land, this property being no longer needed for public use.

17 **SECTION 2. AND BE IT FURTHER ORDAINED**, That no deed may pass under this Ordinance  
18 unless the deed has been approved by the City Solicitor.

19 **SECTION 3. AND BE IT FURTHER ORDAINED**, That this Ordinance takes effect on the date it is  
20 enacted.

EXPLANATION: CAPITALS indicate matter added to existing law.  
[Brackets] indicate matter deleted from existing law.

# **Council Bill 24-0560**

## **Agency Reports**

**SEE ATTACHED**

---

CITY OF BALTIMORE

BRANDON M. SCOTT

Mayor



DEPARTMENT OF LAW

EBONY M. THOMPSON, CITY SOLICITOR

100 N. HOLLIDAY STREET

SUITE 101, CITY HALL

BALTIMORE, MD 21202

---

September 3, 2024

The Honorable President and Members  
of the Baltimore City Council  
Attn: Executive Secretary  
Room 409, City Hall  
100 N. Holliday Street  
Baltimore, Maryland 21202

Re: City Council Bill 24-0560 Sale of Property - 1012 East 43rd Street

Dear President and City Council Members:

The Law Department has reviewed Mayor and City Council Bill 24-0560 for form and legal sufficiency. The bill would allow the Mayor and City Council of Baltimore to sell its interest in the property located at 1012 East 43rd Street and declare it no longer needed for public use.

Article V, Section 5(b) of the Baltimore City Charter grants the Department of Real Estate in the Comptroller's Office the power to arrange for the disposition of any building or parcel of land no longer needed by the City for public use, if that sale is approved by the Board of Estimates. Assuming the agency reports reveal that the property is no longer needed for public use, this is the appropriate ordinance to authorize disposition of the subject property.

As there are no legal impediments to this bill, the Law Department can approve it for form and legal sufficiency.

Sincerely,

A handwritten signature in black ink, appearing to read 'DLuckey'.

Desiree Luckey  
Assistant Solicitor

cc: Ebony Thompson, City Solicitor  
Nina Themelis, Mayor's Office of Government Relations  
Elena DiPietro, Chief Solicitor, General Counsel Division  
Hilary Ruley, Chief Solicitor  
Ashlea Brown, Chief Solicitor  
Michelle Toth, Assistant Solicitor





CITY OF BALTIMORE  
MAYOR BRANDON M. SCOTT

|                |   |
|----------------|---|
| <b>TO</b>      | The Honorable President and Members of the Baltimore City Council |
| <b>FROM</b>    | Alice Kennedy, Housing Commissioner                               |
| <b>DATE</b>    | September 10, 2024  |
| <b>SUBJECT</b> | <b>24-0560 Sale of Property - 1012 East 43rd Street</b>           |

The Honorable President and  
Members of the City Council  
City Hall, Room 400

9/10/24

**Position: Favorable**

## Introduction

The Department of Housing and Community Development (DHCD) has reviewed City Council Bill 24-0560 Sale of Property - 1012 East 43rd Street for the purpose of authorizing the Mayor and City Council of Baltimore to sell, at either public or private sale, all its interest in certain property that is located at 1012 East 43rd Street (Block 5192, Lot 059) and is no longer needed for public use; and providing for a special effective date.

If enacted, City Council Bill 24-0560 would permit the Mayor and City Council of Baltimore to sell, at either public or private sale, all its interest in the property located at 1012 East 43rd Street. If approved, this ordinance will take effect the day it is enacted.

## DHCD Analysis

1012 East 43<sup>rd</sup> Street is currently described as a narrow, vacant, and overgrown strip of land located within the Wilson Park neighborhood. KidzStuff, a full-service childcare provider, would like to purchase this city-owned property to expand the building it is currently remodeling at 1010 East 43<sup>rd</sup> Street. If completed, this facility will serve children with disabilities in an early learning center consisting of a 12,000-square-foot expansion to the already existing structure at 1010 East 43rd Street. This new addition would expand each floor by 4,000 square feet to include five classrooms, two therapeutic rooms for children and parents, accessibility ramps, and elevators. The grounds would consist of off-street parking at the rear of the properties and off-street drop-offs for families. KidzStuff currently operates directly across the street at 1009 East 43<sup>rd</sup> Street and serves approximately 60 families in the community. They have experienced a growing demand for childcare services and believe a new facility at 1010-1012 East 43<sup>rd</sup> Street

that focuses entirely on providing for special needs children will best serve that community.

This sales ordinance is at the request of The Comptroller (Department of Real Estate) and required for the disposition of the property. The property is not located within any of DHCD's Impact Investment Areas or Community Development Zones but is located within a Streamlined Code Enforcement Area. DHCD supports the disposition of the property as the site is no longer needed for public use.

## Conclusion

DHCD respectfully request a **favorable** report on City Council Bill 24-0560.



CITY OF BALTIMORE  
MAYOR BRANDON M. SCOTT

|                |   |
|----------------|---|
| <b>TO</b>      | The Honorable President and Members of the Baltimore City Council |
| <b>FROM</b>    | Chris Ryer, Director, Department of Planning <i>Chris Ryer</i>    |
| <b>DATE</b>    | August 19, 2024   |
| <b>SUBJECT</b> | CCB #24-0560 - Sale of Property - 1012 East 43rd Street           |

---

**Position: Approval**

**SUMMARY OF POSITION**

1012 East 43rd Street is located on the northwestern corner of the intersection with The Alameda. This property measures approximately 29'4" by 157'8" and is currently unimproved. This site is zoned R-5. This property has been undeveloped for decades. The sale of the property to the adjacent day care center owner will allow it to be developed and productively used, which will increase the City's tax base.

**CONCLUSION**

The Department of Planning respectfully requests a favorable report for this bill.

If you have any questions, please contact Mr. Eric Tiso, Division Chief, Land Use and Urban Design Division at [eric.tiso@baltimorecity.gov](mailto:eric.tiso@baltimorecity.gov) or at 410-396-8358.



## MEMORANDUM

To: The Honorable President and Members of the City Council  
c/o Natawna Austin, Executive Secretary

From: Christine Griffin, Deputy Director of Policy and Government Relations, Office of the  
Comptroller

Date: August 9, 2024

Re: CCB 24-0560 Sale of Property – 1012 East 43<sup>rd</sup> Street

---

### Position: Favorable

The Department of Real Estate (DORE) is herein reporting on City Council bill 24-0560 Sale of Property – 1012 East 43<sup>rd</sup> Street (Block 5192, Lot 059), which is for the purpose of authorizing the Mayor and City Council of Baltimore to sell, at either public or private sale, all its interest in the property that is located at 1012 East 43<sup>rd</sup> Street and is no longer needed for public use; and providing for a special effective date.

### Background

The DORE has received a request from KidzStuff Child Care Center asking the City to authorize the sale of 1012 East 43<sup>rd</sup> Street, a vacant grassy strip of land with a large overgrown tree. KidzStuff would like to use this city-owned property to expand its building at 1010 East 43<sup>rd</sup> for a new childcare center that will serve children with disabilities in an early learning center.

KidzStuff's proposed plan for 1012 East 43<sup>rd</sup> includes a 12,000-square-foot expansion to the existing structure at 1010 East 43<sup>rd</sup>, which is currently empty and has been completely gutted in preparation for renovation. With the expansion, each building floor would be expanded by 4,000 square feet to include five classrooms, two therapeutic rooms for children and parents, handicap-accessible ramps, and elevators. The grounds would consist of off-street parking at the rear of the properties and off-street drop-offs for families.

KidzStuff currently operates a full-service childcare center at 1009 East 43<sup>rd</sup> Street (across the street), serving approximately 60 families in the community. However, they have seen a growing demand and long waiting lists for childcare services for children with disabilities and they believe a new childcare facility at 1010-1012, focused only on children with disabilities, is necessary to best serve community needs.

In addition to this report, I have uploaded to Legistar the Acquisition Interest Form and the architectural plans KidzStuff submitted to DORE.

### Ordinance

A City ordinance is necessary to authorize the sale of 1012 East 43<sup>rd</sup> Street. The purchase price will be subject to BOE approval and is not available at this time.

**The Department of Real Estate respectfully requests a favorable report enabling this ordinance.**



CITY OF BALTIMORE  
MAYOR BRANDON M. SCOTT

|                |  |
|----------------|--|
| <b>TO</b>      | The Honorable President and Members of the Baltimore City Council  |
| <b>FROM</b>    | Caron Watkins<br>Interim Director, Office of Equity & Civil Rights<br>Interim Chief Equity Officer         |
| <b>ANALYST</b> | Zachary Wellman<br>Equity Policy Analyst, Office of Equity & Civil Rights                                  |
| <b>DATE</b>    | August 29, 2024  |
| <b>SUBJECT</b> | OECR Report on Baltimore City Council Bill 24-0560<br>Sale of Property - 1012 East 43 <sup>rd</sup> Street |

**OECR POSITION: Favorable**

**SUMMARY OF LEGISLATION**

The Office of Equity & Civil Rights (OECR) has reviewed and is herein reporting on City Council Bill 24-0560 - *Sale of Property - 1012 East 43rd Street*. This is a property sale bill for the plot located at 1012 East 43<sup>rd</sup> Street (Block 5192, Lot 059).

The bill seeks to accomplish the following:

- Authorize the Mayor and City Council to sell, either at public or private sale, all its interest in the property.
- Provide an effective date for the sale (effective immediately upon passage).
- Require the City Solicitor to approve the transfer of the property deed.
- Allow the undeveloped property to be reused.

The bill enables the Mayor and City Council to divest their interests in the property by way of sale through the authority of the Comptroller, as outlined by Article V, Section 5(b) of the Baltimore City Charter.

**ANALYSIS**

Council Bill 24-0560 seeks to authorize the sale of the city property located at 1012 East 43<sup>rd</sup> Street, a plot of undeveloped land, with the intent it will be sold to KidzStuff Child Care Center. The OCR recognizes that KidzStuff Child Care Center submitted an Acquisition Interest Form to the Department of Real Estate for the property to expand their adjacent empty facility located at 1010 East 43<sup>rd</sup> Street and accompany their in-use childcare facility across the street at 1009 East 43<sup>rd</sup> Street.

KidzStuff Child Care Center has promised to establish an early learning center for children with disabilities on the acquired plot, which would include five classrooms and two therapeutic rooms for parents and children. In line with the intended use of the property, the new facility would include accessibility features such as accessible ramps, elevators, and off-street parking.

KidzStuff Child Care Center currently serves its community by providing childcare to families in Northeast Baltimore; however, its current facility is under-equipped to provide care to children with disabilities. The sale of the property at 1012 East 43<sup>rd</sup> Street is a necessary step to enable KidzStuff Child Care Center to provide equitable care for children with and without disabilities alike. Therefore, the intended outcome of Council Bill 24-0560 should have a positive impact on the equity of Baltimore City residents, particularly young residents living with disabilities, and their families.

## CONCLUSION

After review, the Office of Equity & Civil Rights has discerned no inequity in the intent of the property sale and supports the intended use of the property to provide care for children with disabilities in Baltimore once sold. As such, the office requests a **favorable** committee report on City Council Bill 24-0560.

Respectfully Submitted,



---

Caron Watkins  
Interim Director, Office of Equity & Civil Rights

# **Council Bill 24-0560**

## **Additional Materials**

**SEE ATTACHED**

## ACQUISITION INTEREST FORM

Name of Applicant: Angela Kidane

If a corporation, or partnership, specify the name and title of the principal contact person:

Scarlet Covering Inc. dba KidzStuff Child Care Centers

Address: 1009 East 43<sup>rd</sup> Street City: Baltimore State: MD Zip: 21212

Phone: (Mobile) 443.386.5928 (Work) 410.800.2142

Email: angela@scarletcovering.com Fax # 410.728.2432

Address of Property: 1012 E. 43<sup>rd</sup> Street

Block, Lot: 5192/59

In order for us to adequately evaluate your request to purchase a City-owned property or tax sale certificate for foreclosure, you must provide adequate information regarding your intentions with regard to the property, your resources for carrying out those plans, and your experience in the type of project you propose. Therefore, using as many pages as required, please provide detailed responses to the following questions and attach required back-up information, as requested. Please number your responses to correlate to the questions.

1. Describe the property and provide information in **DETAIL** as to how you will use the property (rental unit, owner-occupied home, extended yard space, for parking, for community-based program, etc.

**The city owned property is currently a strip of grassy area with a very large overgrown tree. Scarlet Covering, Inc. will use the city owned property to expand the building on the lot to the left of the property. The expanded property will serve children with disabilities in an early learning center. The new center will include handicap accessible ramps and parking. The new center will also include a total of five classrooms and two therapeutic rooms for children and parents.**

2. If you intend to develop the property, you must answer questions 3-7 and complete the attached Development Pro Forma. Otherwise, please go to question number 8.

3. Describe any prior development experience you have had, or the consultants or development team you propose to use for your project.

**Scarlet Covering, Inc developed the property at 1009 East 43<sup>rd</sup> Street (across the street from the vacant city lot), developed it to code and opened a childcare center inside. The childcare center has been operating since 2022. Additionally, at 1900 N Broadway # 100, Baltimore, MD 21213 we operate a 12,000 SF childcare space in the former grocery store footprint. For this project at 1010-1012 we have hired Sulton Campbell Britt & Associates, P.C. as the architecture firm for this project and Bear Home Improvement as the general contractor.**

4. Describe how your proposed use conforms to the existing zoning on the site. In order to check on zoning and any requirements for your proposed use (such as off-street parking), you may consult Zoning Office on the first floor of the Benton Building at 417 E. Fayette Street. You may also want to check with the Community Planner for your area in the Department of Planning on the eighth floor of the Benton Building.



**The property was zoned for childcare in the past with an approved license from MSDE Office of Childcare, the new project will be a childcare center. The adjacent lot and the lot across the street are zoned for childcare.**

5. Please describe proposed renovation or construction plans for the site. If the plan is a renovation of an existing property, please provide details of that renovation. If you are proposing new construction, please provide a description of the new structure, its size (# of stories, square footage, etc), and a description of materials. Provide details of off-street parking provisions.

**The proposed plan will include a 12,000 square foot expansion to the existing structure on 1010 which will expand onto 1012. Each floor of the building will be expanded by 4,000 square feet. The grounds will include off-street parking in the rear of the properties and off street drop off for families utilizing the services at the center. (the initial plans for the building are attached)**

6. Provide a **DETAILED** cost estimate of the project including hard and soft costs. See the attached project pro forma for development. If this is to be an income-producing property or a service facility, you must also provide a projected operating budget and specify sources of funds available for operations as well.

7. Provide evidence of availability of funds to complete project. Specify sources of funds and attach evidence of commitments from financial institutions or bank statements showing available cash.

**The project will be funded through Scarlet Covering, Inc. operating funds and savings (bank statements attached). The project also received funding from the Maryland Consolidated Capital Bond Loan (MCCBL) of 2023 (proof attached)**

8. Provide a **DETAILED** time-line for completion of the proposed project.

|                                  |                 |
|----------------------------------|-----------------|
| Program Discovery Phase          | June 2023       |
| Identify Resources               | July 2023       |
| Secure Architecture              | August 2023     |
| Develop/Review the Project Scope | September 2023  |
| Identify Project Manager         | September 2023  |
| Identify Deliverables            | May 2024        |
| Pre-Construction Meeting         | Early-June 2024 |
| Demolition                       | June 2024       |
| Shovel to the Ground             | July 2024       |
| Selections Meeting               | July 2024       |
| Building Orientation             | September 2024  |
| Punch Out                        | September 2024  |
| Final Walkthrough                | September 2024  |
| Open to Public                   | September 2024  |

9. List any other property you own in the City of Baltimore. For each property provide the following information:

- a. Address, and term of ownership.  
**1009 East 43<sup>rd</sup> Street, 2021 to present**  
**1010 East 43<sup>rd</sup> Street, 2021 to present**
- b. Whether all taxes and municipal liens are current.  
**All taxes and municipal liens are current**
- c. Is property vacant and under notice to raze or repair from the Department of Housing and Community Development? **No**

**Please note that in reviewing your request, the City will consider your compliance with local repair and maintenance codes, and payment of taxes on property already in ownership.**

10. Has the adjacent owner(s) of the property been informed of your interest and plans?

Yes  No

11. Do you have a letter(s) of support from adjacent owners and relevant community associations? If yes, please submit supporting letters. Yes  No  (If no, provide an explanation.)

**We have attempted to reach out to the community association however we have learned the previous president has died and the current president is in the hospital. We have spoken to the association president from two terms ago.**

Please return your completed application to

**DEPARTMENT OF REAL ESTATE  
100 N. HOLLIDAY STREET, ROOM 304  
BALTIMORE, MD 21202  
410-396-4768 -Cathy Zoppo  
FAX: 410-528-1437**

**NOTE: All questions on this application must be answered in DETAIL for any request to be considered. Incomplete applications will NOT be considered.**

# Outline of Development Pro Forma for the Property Known As:

| Uses <sup>1</sup>  | Amount <sup>2</sup> | Source of Funds <sup>3</sup>           |
|--|---------------------|--|
| Property Acquisition (including tax sale foreclosure costs and closing and recording fees)   | \$1,000.00          | 1010 E 43 <sup>rd</sup> Street (owned) |
| Architectural  | \$75,000.00         | Operating Funds                        |
| Engineering  | \$25,000.00         | Operating Funds                        |
| Environmental testing & disposal   | \$0                 |  |
| Demolition   | \$13,500.00         | Operating Funds                        |
| Construction (specify building square footage and PSF costs of construction or renovation) _____ PSF. If available, attach a contractor's proposal or costed construction write-up | \$500,000.00        | Savings and State Bond Bill            |
| Legal  | \$2,500.00          | Operating Funds                        |
| Appraisal  | \$1,200.00          | Operating Funds                        |
| Financing Fees   | \$0                 |  |
| Permit fees  | \$3,000.00          | Operating Funds                        |
| Insurance  | \$3,750.00          | Operating Funds                        |
| Taxes during construction  | 3,800.00            | Operating Funds                        |
| Water during construction  | \$2,500.00          | Operating Funds                        |
| Security   | \$0                 |  |
| Utilities during construction  | \$3,500.00          | Operating Funds                        |
| Costs of Resale: <sup>4</sup>  |                     |  |
| Advertising  |                     |  |
| Real Estate Commission (____ %)  | N/A                 |  |
| Seller's closing costs   |                     |  |

<sup>1</sup> Note that not all lines may be applicable depending upon the nature of the project and its eventual intended use

<sup>2</sup> You should provide on a separate attached sheet your assumptions for obtaining this cost estimate, for instance, Taxes during construction should specify the monthly amount of taxes and the construction period assumed in calculating the amount needed during construction; or financing fees should be broken down into application fees, points, etc.

<sup>3</sup> Specify the sources of funds for each line item – bank loan, cash, and sweat equity.

<sup>4</sup> Specify below the intended sale price of the property.



**KidzStuff Child Care**  
1010 East 43rd Street, Baltimore, Maryland



 **SULTON CAMPBELL BRITT & ASSOCIATES, P.C.**  
Architecture \* Historic Preservation \* Planning \* LEED™ Consulting

**OWNER**

**KIDZSTUFF CHILD CARE**  
**1010 EAST 43RD STREET,**  
**BALTIMORE, MARYLAND 21212**

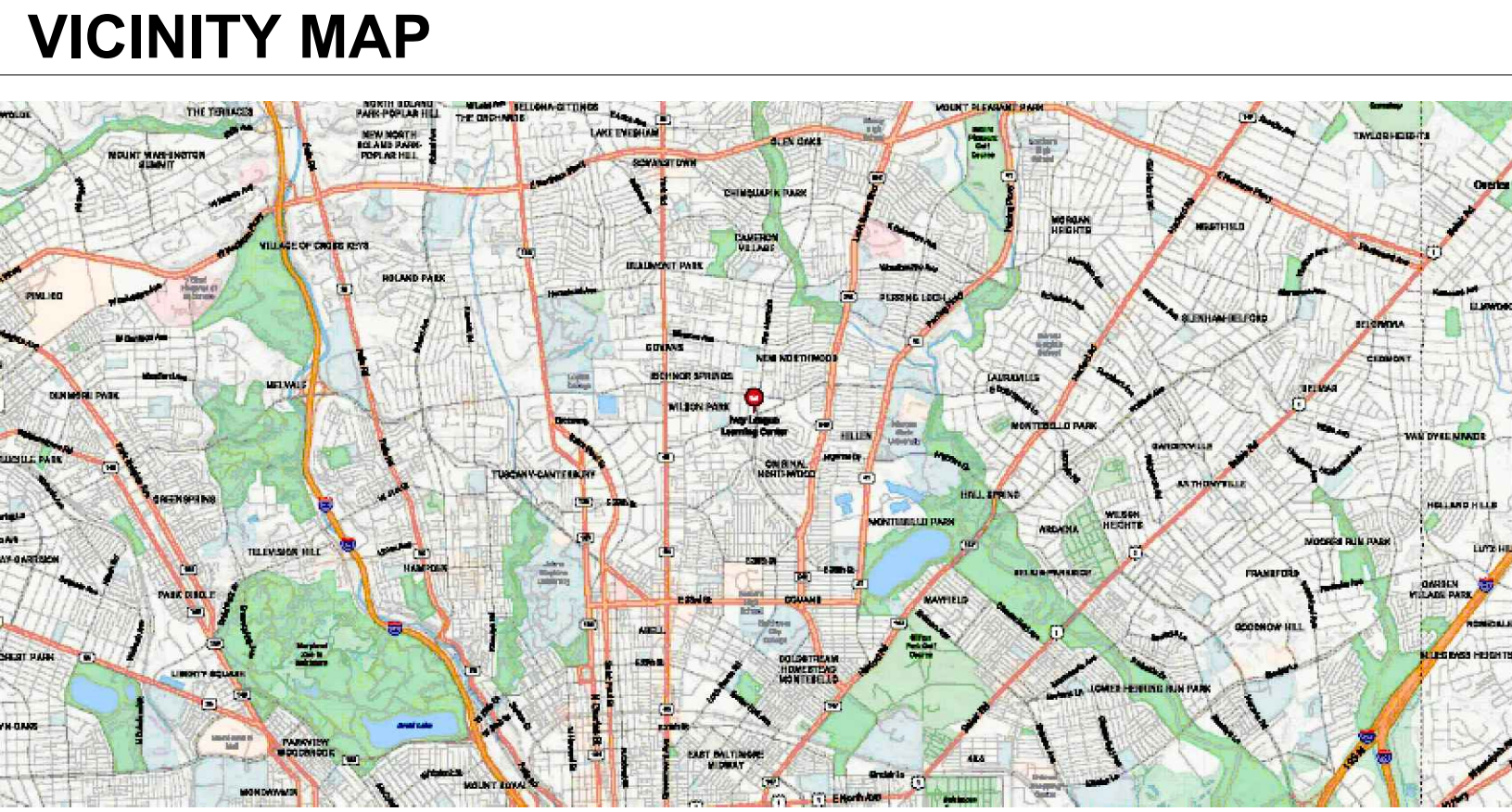
**DESIGN TEAM AND OWNER**

**ARCHITECT:**  
 SULTON CAMPBELL BRITT &  
 ASSOCIATES, PC  
 100 INTERNATIONAL DRIVE  
 BALTIMORE MD. 21202

- STANDARDS AND REGULATIONS**
- CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS, AND SIMILAR STANDARDS.
  - CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF INSPECTIONS.
  - CONTRACTOR SHALL COORDINATE WORK WITH APPLICABLE UTILITY PROVIDERS.
  - CONTRACTOR SHALL BE FAMILIAR WITH REQUIREMENTS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH REFERENCED FIRE-RATED ASSEMBLY TESTS AND STANDARDS.
  - SHOULD THE CONTRACTOR ENCOUNTER ANY HAZARDOUS MATERIAL, CONTRACTOR TO STOP WORK AND NOTIFY ARCHITECT.
  - ALL INTERIOR THROUGH-WALL AND THROUGH-FLOOR PENETRATIONS ARE TO BE FIRE-RATED. REFER TO APPLICABLE UL RATED ASSEMBLY.



SULTON CAMPBELL BRITT & ASSOCIATES, P.C.  
 Architecture \* Historic Preservation \* Planning \* LEED \* Consulting  
 Founded 1964



**PROJECT INFORMATION**

**PROJECT DESCRIPTION:**  
 THE RENOVATION/ ALTERATION OF AN EXISTING OFFICE / COMMUNITY BUILDING. THE EXISTING BUILDING IS TWO STORIES WITH A BASEMENT, MASONRY BUILDING WITH WOOD FRAME.

- DEMOLITION OF INTERIOR PARTITIONS, FLOORING SYSTEMS. ELECTRICAL SYSTEMS, PLUMBING, HVAC.
- NEW PLUMBING SYSTEMS
- NEW HVAC SYSTEMS
- REPAIR EXISTING STRUCTURE; WALLS, FLOORS, CEILINGS, WINDOWS.
- REPAIR OR UPGRADE ELECTRICAL & LIGHTING.
- NEW DOORS, INTERIOR PARTITIONS, FLOORS, CEILING TILES.

EXISTING BUILDING TO BE SPRINKLERED FOLLOWING NFPA 13.

- ADMINISTRATION OF THE WORK:**
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, AND SEQUENCES OF CONSTRUCTION AND DIMENSIONS.
  - CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND AUTHORIZED VISITORS AT THE SITE.
  - CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH CONDITIONS RELATED TO THE WORK. ANY KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND THE ACTUAL CONDITIONS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY.
  - CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER FOR DETAILS RELATING TO THE REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL, USE OF STAIRS AND ELEVATORS, REMOVAL OF WINDOWS, LOCATION OF CHUTES AND DUMPSTERS, ETC., PRIOR TO REMOVAL OF DEBRIS. CONTRACTOR SHALL CLEAN AND REPAIR ANY DAMAGES TO EXISTING ITEMS SOILED OR DAMAGED BY THE DEBRIS REMOVAL PROCESS. IF CLEANING AND/OR REPAIR DOES NOT RETURN ITEMS TO ORIGINAL CONDITION CONTRACTOR SHALL INSTALL NEW ITEMS.
  - CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH OWNER'S PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.
  - EACH INSTALLER SHALL EXAMINE ALL SUBSTRATE CONDITIONS AND/OR SITE CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. INSTALLATION SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.
  - CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON THE SITE AT ALL TIMES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.
  - CONTRACTOR SHALL LAY OUT ALL WORK AS SOON AS POSSIBLE. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
  - CONTRACTOR TO PROTECT ALL EXISTING FURNISHINGS, EQUIPMENT AND FINISHES THAT ARE TO REMAIN DURING CONSTRUCTION.
  - CONTRACTOR TO PROTECT AND STORE ALL REMOVED EXISTING EQUIPMENT AND FIXTURES DURING CONSTRUCTION.
  - ANY DAMAGE TO EXISTING FURNISHINGS, EQUIPMENT, AND FINISHES DURING CONSTRUCTION ARE TO BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.
  - ALL WOOD WITH EXTERIOR EXPOSURE, IN UNCONDITIONED SPACES, WITHIN 8" OF GRADE OR IN CONTACT WITH MASONRY OR CONCRETE TO BE PRESSURE TREATED.

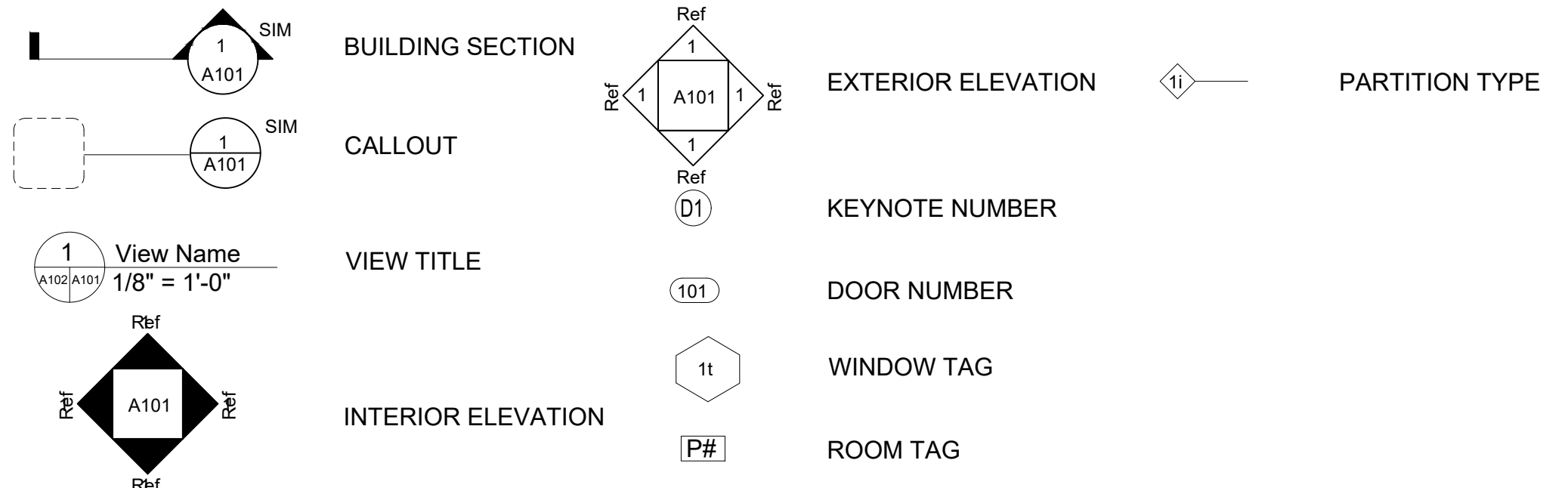
**ABBREVIATIONS**

|       |                                       |       |   |
|-------|---------------------------------------|-------|---|
| ACP   | ACOUSTIC CEILING PANEL                | MAS   | MASONRY                                 |
| AFF   | ABOVE FINISH FLOOR                    | MAX   | MAXIMUM                                 |
| ALUM  | ALUMINUM                              | MECH  | MECHANICAL                              |
| AUTO  | AUTOMATIC                             | MFR   | MANUFACTURER                            |
| ABV   | ABOVE                                 | MIN   | MINIMUM                                 |
| BC    | BOTTOM OF CURB                        | MIR   | MIRROR                                  |
| B.O.  | BOTTOM OF                             | MISC  | MISCELLANEOUS                           |
| BLK   | BLOCK                                 | MO    | MASONRY OPENING                         |
| BRG   | BEARING                               | MR    | MOISTURE RESISTANT                      |
| BLKG  | BLOCKING                              | MROI  | MAINTENANCE, REPAIR AND OPERATION ITEMS |
| BD    | BOARD                                 | MS    | METAL STUD                              |
| BLDG  | BUILDING                              | MTL   | METAL                                   |
| CL/   | CENTERLINE                            | NA    | NOT APPLICABLE                          |
| CLO.  | CLOSET                                | NO    | NUMBER                                  |
| CLG   | CEILING                               | NOM   | NOMINAL                                 |
| CONC  | CONCRETE                              | NTS   | NOT TO SCALE                            |
| CONT  | CONTINUOUS                            | NIC   | NOT IN CONTRACT                         |
| CONTR | CONTRACTOR                            | OPG   | OPENING                                 |
| CMU   | CONCRETE MASONRY UNIT                 | OC    | ON CENTER                               |
| CT    | CERAMIC TILE                          | OH    | OVERHEAD                                |
| C.J.  | CONTROL JOINT                         | OPP   | OPPOSITE                                |
| CRS   | COURSE                                | PL    | PLATE                                   |
| DIAM  | DIAMETER                              | PLAM  | PLASTIC LAMINATE                        |
| DN    | DOWN                                  | PLWYD | PLYWOOD                                 |
| DTL   | DETAIL                                | PNL   | PANEL                                   |
| DWG   | DRAWING                               | PREF  | PREFABRICATED                           |
| EA    | EACH                                  | PERF  | PERFORATED                              |
| EWC   | ELECTRIC WATER COOLER                 | PR    | PAIR                                    |
| EXP   | EXPANSION                             | PT    | PAINT                                   |
| EXT   | EXTERIOR                              | PCF   | POUNDS PER CUBIC FOOT                   |
| EQUIP | EQUIPMENT                             | QT    | QUARRY TILE                             |
| ELEC  | ELECTRIC                              | R     | RISER                                   |
| EL    | ELEVATION                             | RAD   | RADIUS                                  |
| ELEV. | ELEVATOR                              | RD    | ROOF DRAIN                              |
| EMER  | EMERGENCY                             | REF   | REFERENCE                               |
| EMT   | ELECTRICAL METALLIC TUBING            | REINF | REINFORCED                              |
| F/    | FACE OF                               | RH    | RIGHT HAND                              |
| EQ    | EQUAL                                 | ROW   | RIGHT OR WAY                            |
| FE    | FIRE EXTINGUISHER                     | RM    | ROOM                                    |
| FEC   | FIRE EXTINGUISHER CABINET             | RO    | ROUGH OPENING                           |
| FLR   | FLOOR                                 | SIM   | SIMILAR                                 |
| FTG   | FOOTING                               | SGT   | STRUCTURAL GLAZED TILE                  |
| GA    | GAUGE                                 | STL   | STEEL                                   |
| GALV  | GALVANIZED                            | STR   | STRUCTURE                               |
| GC    | GENERAL CONTRACTOR                    | STO   | STORAGE                                 |
| GL    | GLASS                                 | SPEC  | SPECIFICATION                           |
| GYP   | GYPSONUM                              | SS    | STAINLESS STEEL                         |
| GWB   | GYPSONUM WALLBOARD                    | S.S.  | SATIN STAINLESS                         |
| HT    | HEIGHT                                | STN   | STAIN                                   |
| HC    | HANDICAPPED                           | STD   | STANDARD                                |
| HDW   | HARDWARE                              | SUSP  | SUSPENDED                               |
| HTG   | HEATING                               | TC    | TOP OF CURB                             |
| HVAC  | HEATING/ VENTILATING/ AIRCONDITIONING | TH    | THICK                                   |
| HM    | HOLLOW METAL                          | TYP   | TYPICAL                                 |
| INSUL | INSULATION                            | TR    | TREAD                                   |
| INT   | INTERIOR                              | T.O.  | TOP OF                                  |
| JT    | JOINT                                 | TEMP  | TEMPERED/ TEMPORARY                     |
| JAN   | JANITOR                               | UNF   | UNFINISHED                              |
| LAM   | LAMINATE                              | UNO   | UNLESS NOTED OTHERWISE                  |
| LAV   | LAVATORY                              | VERT  | VERTICAL                                |
| LH    | LEFT HAND                             | VIF   | VERIFY IN FIELD                         |
| LT    | LIGHT                                 | WD    | WOOD                                    |
| LTWT  | LIGHTWEIGHT                           | WH    | WATER HEATER                            |
| LVR   | LOUVER                                | W/O   | WITHOUT                                 |
|       |                                       | WWF   | WELDED WIR                              |

**LIST OF DRAWINGS**

|                       |                                   |                    |   |
|-----------------------|-----------------------------------|--------------------|---|
| <b>GENERAL:</b>       | A0-0 COVER PAGE                   | <b>ELECTRICAL:</b> | E000 ELECTRICAL COVER SHEET                       |
| A0-1                  | CODE ANALYSIS                     | E100               | GROUND FLOOR & FIRST FLOOR POWER PLANS            |
|                       |                                   | E101               | SECOND/THIRD & ROOF PLANS MECHANICAL              |
|                       |                                   | E102               | GROUND & FIRST FLOOR PLANS LIGHTING               |
|                       |                                   | E103               | SECOND & ROOF PLANS LIGHTING                      |
|                       |                                   | E200               | FIRE ALARM & POWER RISER DIAGRAMS                 |
|                       |                                   | E300               | ELECTRICAL DETAILS                                |
| <b>STRUCTURAL:</b>    | S.01 FRAMING PLANS                | <b>MECHANICAL:</b> | M000 MECHANICAL COVER SHEET                       |
|                       |                                   | M200               | BASEMENT SLOOR PLAN - NEW WORK - HVAC             |
|                       |                                   | M201               | FIRST FLOOR PLAN - NEW WORK - HVAC                |
|                       |                                   | M202               | SECOND FLOOR PLAN - NEW WORK - HVAC               |
|                       |                                   | M300               | MECHANICAL SCHEDULES                              |
|                       |                                   | M301               | MECHANICAL SCHEDULES                              |
|                       |                                   | M302               | MECHANICAL SCHEDULES                              |
|                       |                                   | M400               | MECHANICAL DETAILS                                |
| <b>ARCHITECTURAL:</b> |                                   | <b>PLUMBING:</b>   | P000 PLUMBING COVER SHEET                         |
| EX.01                 | EXISTING PLANS                    | P100               | BASEMENT & GROUND FLOOR PLUMBING PLANS            |
| EX.02                 | EXISTING ELEVATIONS               | P101               | SECOND/THIRD & ROOF PLANS PLUMBING                |
| A1.01                 | PROPOSED FLOOR PLANS              | P102               | PARTIAL PLANS PLUMBING                            |
| A2.01                 | PROPOSED ELEVATIONS               | P103               | PLUMBING RISER DIAGRAMS                           |
| A3.01                 | LONGITUDINAL SECTION              | P104               | FIRE PROTECTION & GAS SERVICE RISER DIAGRAMS      |
| A3.02                 | TRANSVERSE SECTION                | P105               | PLUMBING DETAILS                                  |
| A3.03                 | TYPICAL WALL SECTION              | P106               | PLUMBING DETAILS                                  |
| A3.04                 | PORCH SECTION                     | PD100              | BASEMENT & GROUND FLOOR PLANS DEMOLITION PLUMBING |
| A4.01                 | ENLARGED PORCH PLAN               |                    |   |
| A4.02                 | ENLARGED RAMP PLANS               |                    |   |
| A5.01                 | RAMP & GUARDRAIL DETAILS          |                    |   |
| A5.02                 | ROOF TRUSS DIAGRAM & ROOF SECTION |                    |   |
| A6.01                 | DOOR & WINDOW SCHEDULES & ELEV. S |                    |   |
| A6.02                 | PARTITION TYPES & FINISH SCHEDULE |                    |   |
| A7.01                 | EGRESS / EXIT PLAN                |                    |   |

**DRAWING KEY**



**SYMBOLS**

|     |                    |     |                   |
|-----|--------------------|-----|-------------------|
| CJ  | CONTROL JOINT      | EXP | EXPANSION JOINT   |
| EXP | EXPANSION JOINT    | CON | CONCRETE          |
| WVF | WELDED WIRE FABRIC | CG  | COMPACTED GRAVEL  |
| RB  | REINFORCING BARS   | SG  | SUBGRADE          |
| DA  | DEMOLITION AREA    | EP  | EXISTING PAVEMENT |
| NCS | NEW CONCRETE SLAB  |     |                   |

**USE OF CONSTRUCTION DOCUMENTS:**

- DO NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED. CONTACT ENGINEER IF CLARIFICATION OR ADDITIONAL INFORMATION IS REQUIRED.
- THE DRAWINGS ARE SCHEMATIC IN NATURE. MODIFICATIONS IN DUCTS, PIPING, CONDUIT AND WIRING MAY BE REQUIRED TO ACCOMMODATE ACTUAL FIELD CONDITIONS.
- DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS.
- DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:
  - TO FACE OF GYPSUM WALLBOARD.
  - TO CENTERLINE OF COLUMNS.
  - TO TOP OF FLOOR SLAB.
  - TO BOTTOM OF FINISHED CEILING.
  - TO FACE OF MASONRY.

**DEFINITIONS:**

- "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE AND/OR TO INSTALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES.
- "CLEAR" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT. CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE.
- "MAXIMUM" OR "MAX" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE ENGINEER.
- "MINIMUM" OR "MIN" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ENGINEER.
- "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT.
- "+" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE DIMENSION OR QUALITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS. FIELD VERIFICATION AND COORDINATION WITH OTHER ELEMENTS MIGHT BE NECESSARY.

SUBMISSION DATE: 2/27/2024

|            |            |                   |
|------------|------------|-------------------|
| TRUE NORTH | PLAN NORTH | ISSUE DATES       |
|            |            | 1 2.27 ORIG. SUB. |

PROFESSIONAL CERTIFICATION:

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 3617, expiration date FEB. 23, 2022.

SCALE:

PROJECT NO: 24-030

DRAWN BY: KMD

CHECKED BY: DGG

CONTENT

COVER PAGE

DRAWING NO.

A0-0

SHEET \_\_\_ OF 32

# BUILDING CODE ANALYSIS GOVERNING CODES & STANDARDS

## BUILDING CODES

THIS BFR CODES ARTICLE (2015 EDITION) COMPRISES THE FOLLOWING STANDARDS AND CODES, AS SUPPLEMENTED, AMENDED, OR OTHERWISE MODIFIED BY THE MAYOR AND COUNCIL OF BALTIMORE

|                            |   |
|----------------------------|---|
| MBPS (2019)                | MARYLAND BUILDING PERFORMANCE STANDARDS / JANUARY 2019  |
| IBC (2018)                 | INTERNATIONAL BUILDING CODE / 2018  |
| IEBC (2018)                | INTERNATIONAL EXISTING BUILDING CODE / 2018 ( MARYLAND BUILDING REHAB CODE)                         |
| NEC (2017)                 | NATIONAL ELECTRICAL CODE / 2017   |
| IFGC (2018)                | INTERNATIONAL FUEL GAS CODE / 2018  |
| IMC (2018)                 | INTERNATIONAL MECHANICAL CODE / 2018  |
| IPC (2018)                 | INTERNATIONAL PLUMBING CODE / 2018  |
| IPMC (2018)                | INTERNATIONAL PROPERTY MAINTENANCE CODE / 2018  |
| IFC (2018)                 | INTERNATIONAL FIRE CODE / 2018  |
| IECC (2018)                | INTERNATIONAL ENERGY CONSERVATION CODE / 2018   |
| IGCC (2015)                | INTERNATIONAL GREEN CONSTRUCTION CODE / 2015  |
| <b>FIRE CODES</b>          |   |
| IFC 2018                   | INTERNATIONAL FIRE CODE 2018  |
| <b>ACCESSIBILITY CODES</b> |   |
| ADAAG (2010)               | ACCESSIBILITY : (AMERICANS DISABILITY ACT) AND "FHAA" (FEDERAL FAIR HOUSING AMENDMENTS ACT OF 1988) |

## BUILDING DESIGN

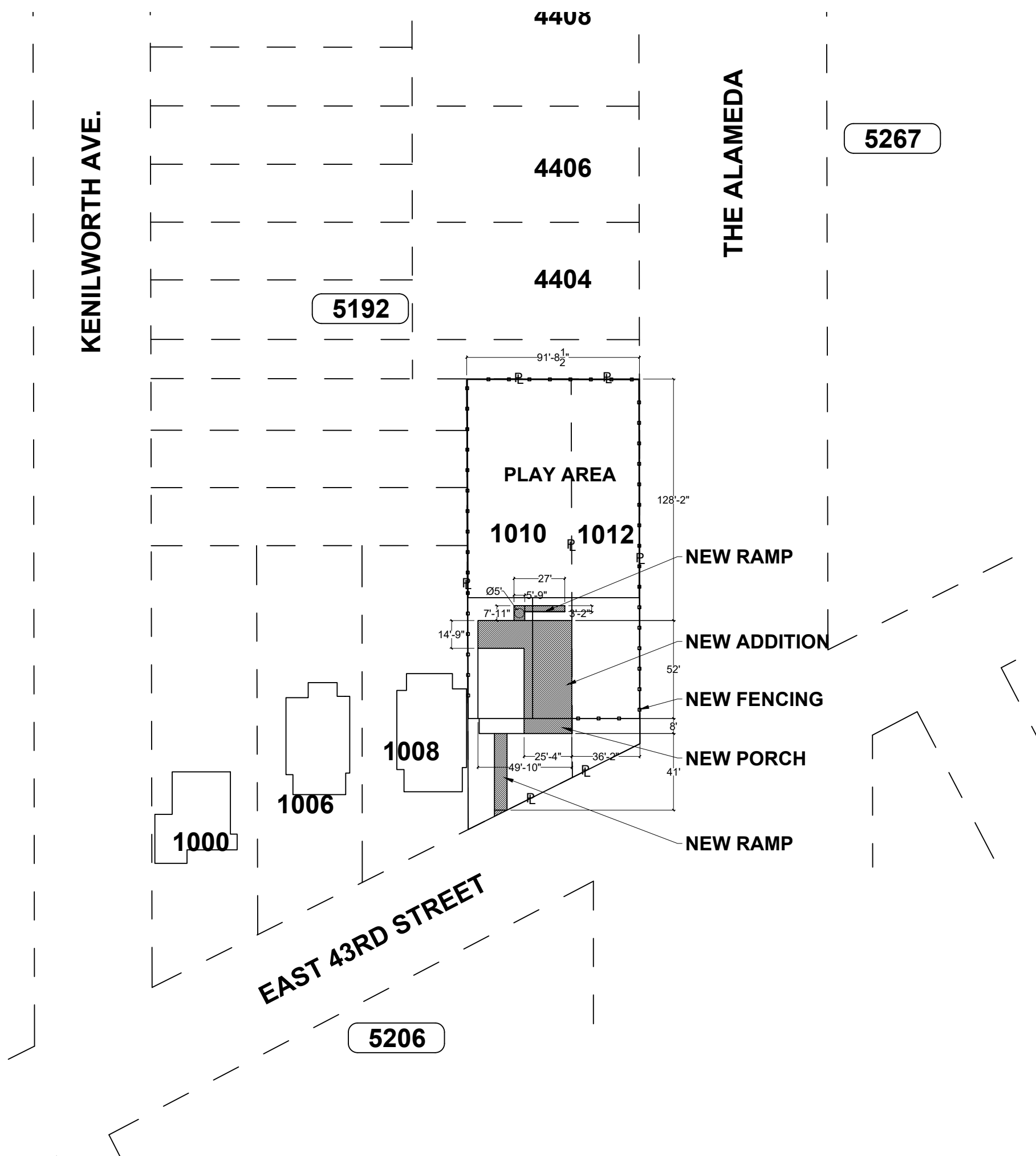
| TOPIC<br>OCCUPANCY                                   | EXISTING  | ALLOWABLE   | PROPOSED  | CODE REFERENCE                       |
|--|---|---|---|--------------------------------------|
| OCCUPANCY CLASSIFICATION                             | S-1 (BASEMENT LEVEL)<br>B (FIRST LEVEL)<br>B (SECOND LEVEL) | I-4 (BASEMENT LEVEL)<br>I-4 (FIRST LEVEL)<br>I-4 (SECOND LEVEL) | I-4 (BASEMENT LEVEL)<br>I-4 (FIRST LEVEL)<br>I-4 (SECOND LEVEL) | IBC 308.5<br>IBC 308.5<br>IBC 308.5  |
| <b>CONSTRUCTION</b>                                  |   |   |   |                                      |
| CONSTRUCTION TYPE                                    | IIIB  | IIIB  | IIIB  | IBC 602                              |
| HIGH-RISE  | N/A   | N/A   | N/A   |                                      |
| SPRINKLERS   | NO  | REQUIRED FOR I-4  | YES   | IBC 903.2.6                          |
| ALARM SYSTEM   | NO  | REQUIRED FOR I-4  | YES   | IBC 907.2.6                          |
| HEIGHT (FEET)  | 30' +/-   | 30 FT W/ SPRINKLER (I-4)  | 30' +/-   | IBC TABLE 504.4                      |
| HEIGHT (STORIES)                                     | 3 STORIES + BASEMENT  | 3 W/ SPRINKLER (I-4)  | 3 STORIES + BASEMENT  |                                      |
| FLOOR AREA   | 4,855 SF TOTAL  | 39,000 SF   | 4,855 SF TOTAL  | IBC TABLE 506.2                      |
| FIRE-RESISTANCE RATING OF ELEMENTS                   | NONE  | SPRINKLER   | SPRINKLER   |                                      |
| PRIMARY STRUCTURAL FRAME                             | 0HR   | 0HR   | 0HR   | IBC TABLE 601                        |
| BEARING WALLS  | 2HR   | 2HR/0HR   | 2HR/0HR   | IBC TABLE 601                        |
| NONBEARING WALLS                                     | 0HR   | 0HR   | 0HR   | IBC TABLE 601, TABLE 602             |
| FLOOR CONSTRUCTION                                   | 0HR   | 0HR   | 0HR   | IBC TABLE 601/ 508.4                 |
| ROOF CONSTRUCTION                                    | 0HR   | 0HR   | 0HR   | IBC TABLE 601                        |
| EXTERIOR WALLS X < 5                                 | 2HR   | 2HR   | 2 HR  | IBC TABLE 602                        |
| EXTERIOR WALLS 5 ≤ X 10                              | 2HR   | 1HR   | 1HR   | IBC TABLE 602                        |
| EXTERIOR WALLS 10 ≤ X 30                             | 1HR   | 1HR   | 1HR   | IBC TABLE 602                        |
| EXTERIOR WALLS X ≥ X 30                              | 0HR   | 0HR   | 0HR   | IBC TABLE 602                        |
| FIRE WALL (PARTY)                                    | N/A   | N/A   | N/A   | IBC TABLE 706.4.a                    |
| FIRE BARRIER SEPERATION                              | 0HR   | NONE  | NONE  | IBC TABLE 508.4                      |
| CORRIDOR FIRE RESISTANCE                             | 1HR   | 0HR   | N/A   | IBC TABLE 1020.1, NFPA 30.2.2.1.2    |
| MEANS OF EGRESS COMPONENTS (EXIT ENCLOSURES & DOORS) | 1HR   | 1HR   | 1HR   | NFPA 30.2.2.1.2                      |
| FIRE SEPARATION ASSEMBLIES                           | 1HR   | 1HR   | 1HR   | IBC TABLE 508.4, NFPA 6.1.14.4.1 (A) |

## MEANS OF EGRESS

| OCCUPANT LOAD LOCATION        | SQUARE FOOTAGE     | OCCUPANT LOAD              | PP                |  |
|-------------------------------|--------------------|----------------------------|-------------------|--|
| (I-4) BASEMENT LEVEL          | 1,241 SF (35 OCC.) | 35 SF NET                  | 35 OCC.           | IBC 311.1, TABLE 1004.5                      |
| (I-4) FIRST LEVEL             | 1,565 SF (44 OCC.) | 35 SF NET                  | 44 OCC.           | IBC 303.1.2, 304.1, TABLE 1004.5             |
| (I-4) SECOND LEVEL            | 1,315 SF (37 OCC.) | 35 SF NET                  | 37 OCC.           | IBC 303.4, TABLE 1004.5                      |
| (I-4) THIRD LEVEL             | 734 SF (20 OCC.)   | 35 SF NET                  | 20 OCC.           | IBC 303.4, TABLE 1004.5                      |
| <b>MEANS OF EGRESS SIZING</b> |                    |                            |                   |  |
| STAIRS                        | 63"                | 44" MIN.                   | 63"               | IBC 1011.2                                   |
| CORRIDOR                      | 5' 9"              | 44" MIN.                   | 44" MIN.          | IBC TABLE 1020.2                             |
| DOORS                         | 32" DOORS          | 32" MIN.                   | 36"               | IBC 1005.3.2                                 |
| <b>USER GROUP</b>             |                    | <b># OF REQUIRED EXITS</b> | <b># PROPOSED</b> |  |
| BASMNT. LEVEL (I-4)           | 2 EXITS            | 2                          | 2                 | IBC 1006.2.1 EXCEPTION 1, TABLE 1006.3.2 (2) |
| 1ST LEVEL (I-4)               | 2 EXITS            | 2                          | 2                 | IBC TABLE 1006.2.1                           |
| 2ND LEVEL (I-4)               | 2 EXITS            | 2                          | 2                 | IBC TABLE 1006.2.1                           |
| THIRD LEVEL (I-4)             | 2 EXITS            | 2                          | 2                 | IBC TABLE 1006.2.1                           |

## MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES

| TOPIC              | EXISTING | ALLOWABLE                    | PROPOSED | CODE REFERENCE           |
|--------------------|----------|------------------------------|----------|--------------------------|
| MEN WATERCLOSETS   | N/A      | 1 PER 15 (136 OCC.)= 9 MIN.  | 9 ADA WC | IBC 2902.1, TABLE 2902.1 |
| WOMEN WATERCLOSETS | N/A      | 1 PER 15 (136 OCC.)= 9 MIN.  | 9 ADA WC | IBC 2902.1, TABLE 2902.1 |
| MEN LAVATORIES     | N/A      | 1 PER 15 (136 OCC.)= 9 MIN.  | 9 ADA WC | IBC 2902.1, TABLE 2902.1 |
| WOMEN LAVATORIES   | N/A      | 1 PER 15 (136 OCC.)= 9 MIN.  | 9 ADA WC | IBC 2902.1, TABLE 2902.1 |
| DRINKING FOUNTAINS | N/A      | 1 PER 100 (136 OCC.)= 2 MIN. | 2        | IBC 2902.1, TABLE 2902.1 |
| SERVICE SINKS      | N/A      | 1 SERVICE SINK               | 1        | IBC 2902.1, TABLE 2902.1 |



**PROPOSED SITE PLAN**  
**SCALE: 1 : 60**

SUBMISSION DATE: 2/27/2024

| TRUE NORTH | PLAN NORTH | REVISIONS         |
|------------|------------|-------------------|
|            |            | 1 2/27 ORIG. SUB. |
|            |            | 2                 |

PROFESSIONAL CERTIFICATION:  
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 3617, expiration date FEB. 23, 2022.

|                  |                     |
|------------------|---------------------|
| SCALE: AS NOTED  | PROJECT NO: 21-010  |
| DRAWN BY: Author | CHECKED BY: Checker |

**CODE ANALYSIS**

DRAWING NO. A0-1

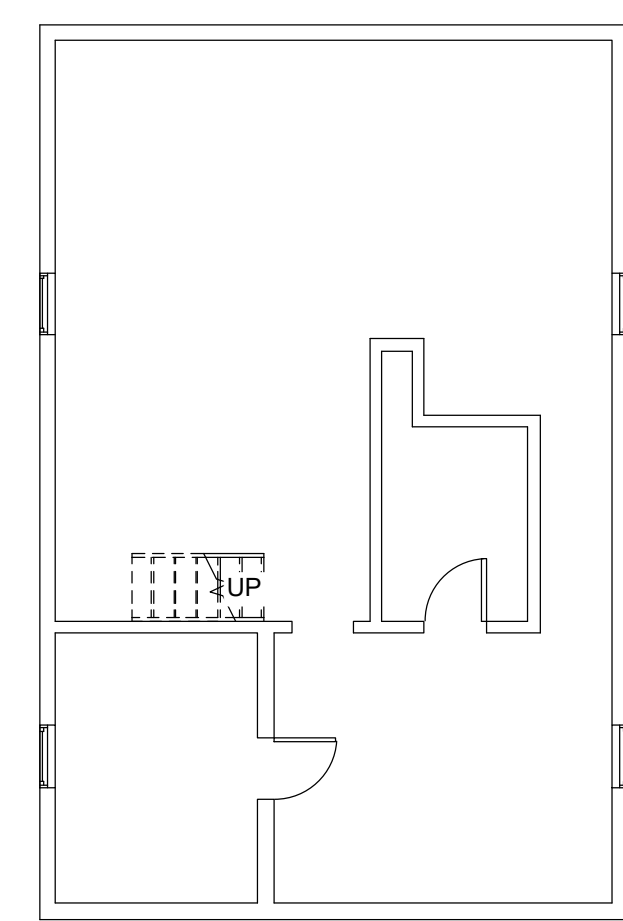
SHEET \_\_\_ OF 37



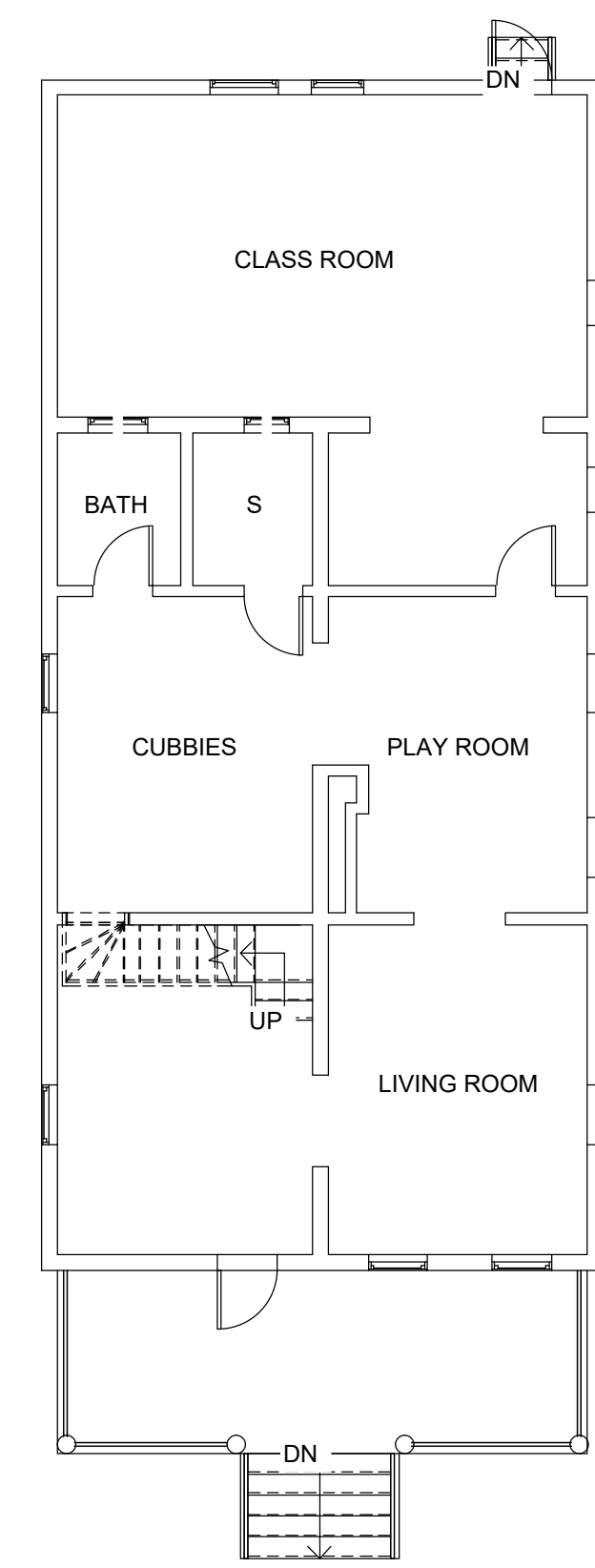
SULTON CAMPBELL BRITT & ASSOCIATES, P.C.  
Architecture \* Historic Preservation \* Planning \* LEED Consulting  
Founded 1964

1010 EAST 43RD STREET  
BALTIMORE, MD. 21212  
COMMERCIAL RENOVATION

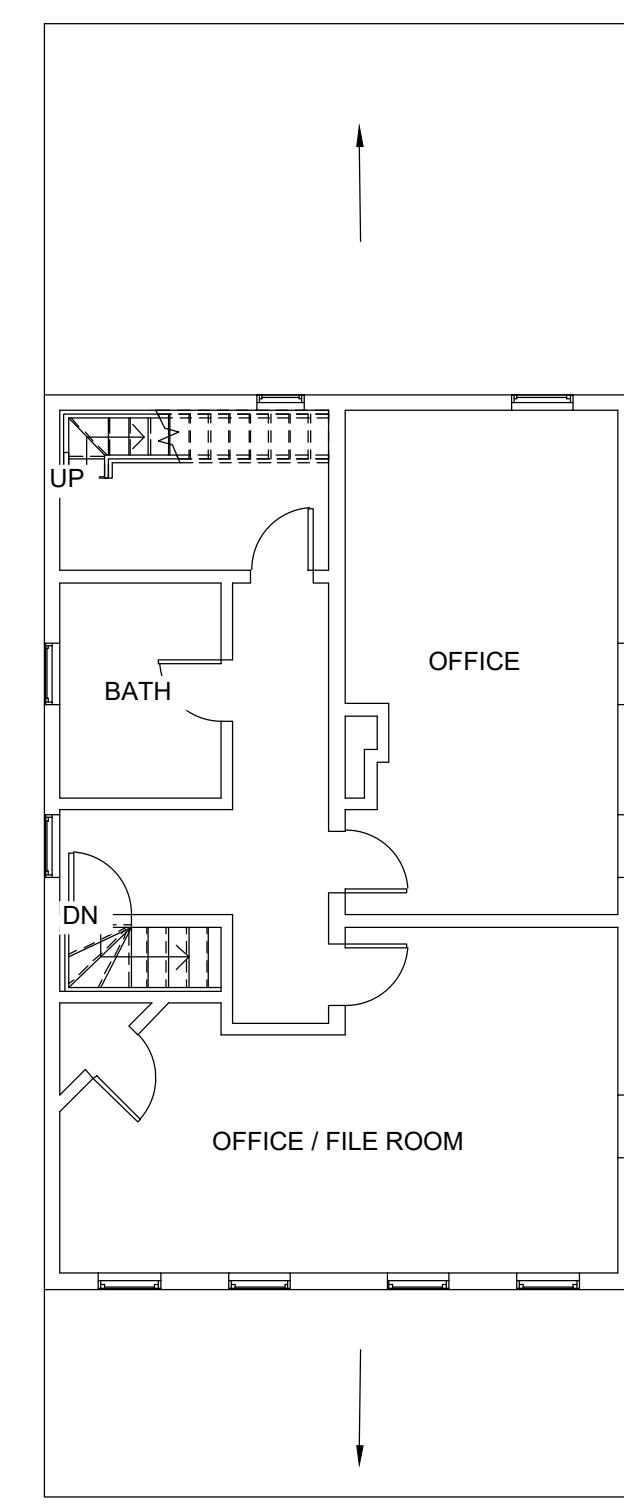




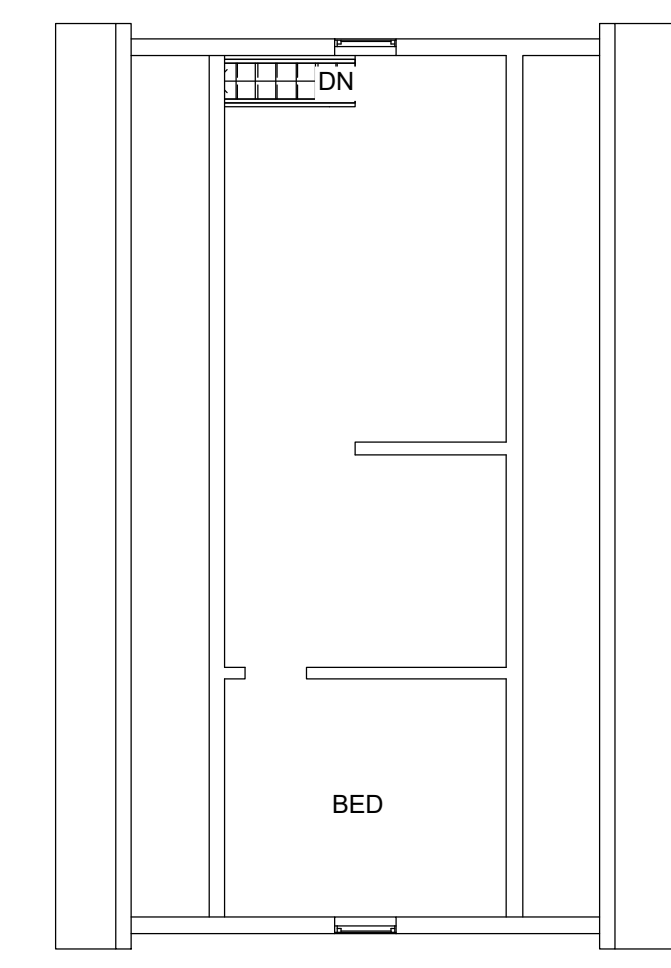
1 EXISTING BASEMENT LEVEL PLAN  
 EX.01 SCALE: 1/8" = 1'-0"



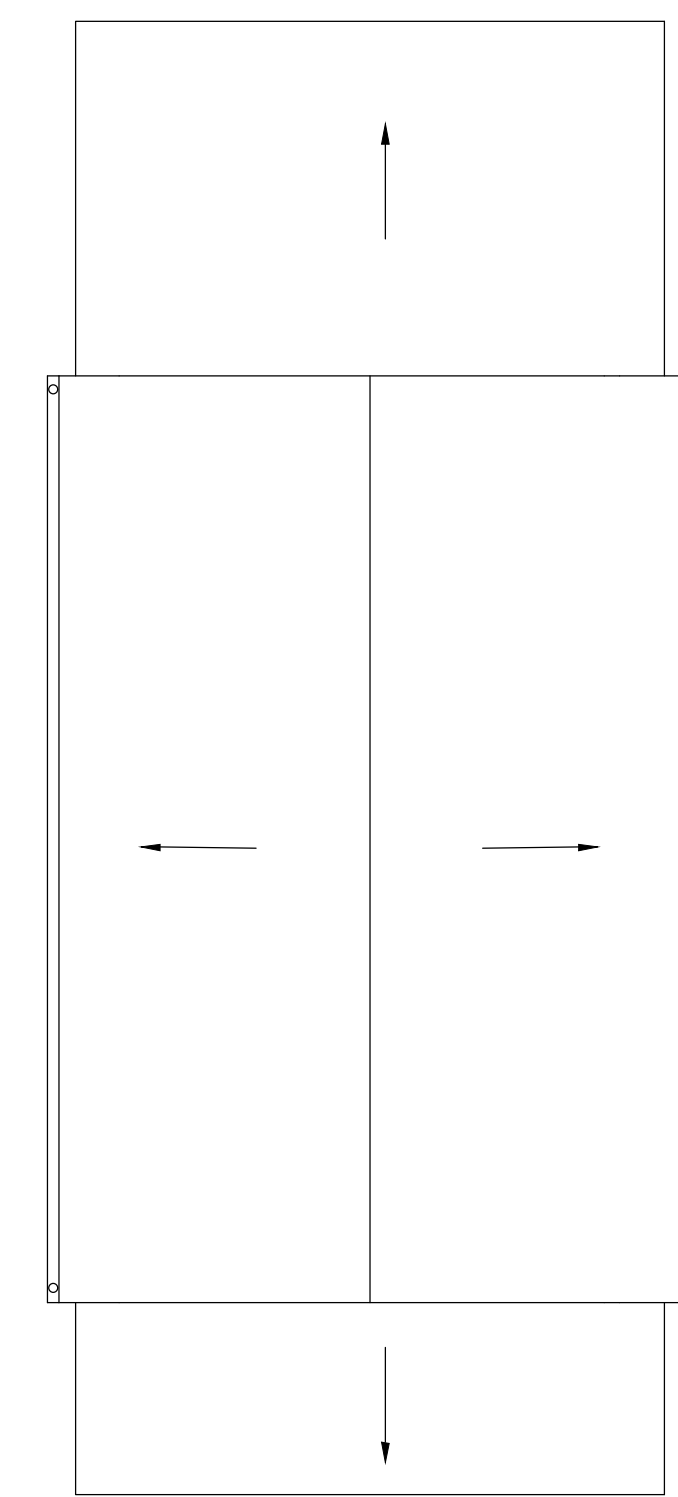
2 EXISTING FIRST FLOOR PLAN  
 EX.01 SCALE: 1/8" = 1'-0"



3 EXISTING SECOND FLOOR PLAN  
 EX.01 SCALE: 1/8" = 1'-0"



4 EXISTING SECOND FLOOR PLAN  
 EX.01 SCALE: 1/8" = 1'-0"



5 EXISTING SECOND FLOOR PLAN  
 EX.01 SCALE: 1/8" = 1'-0"

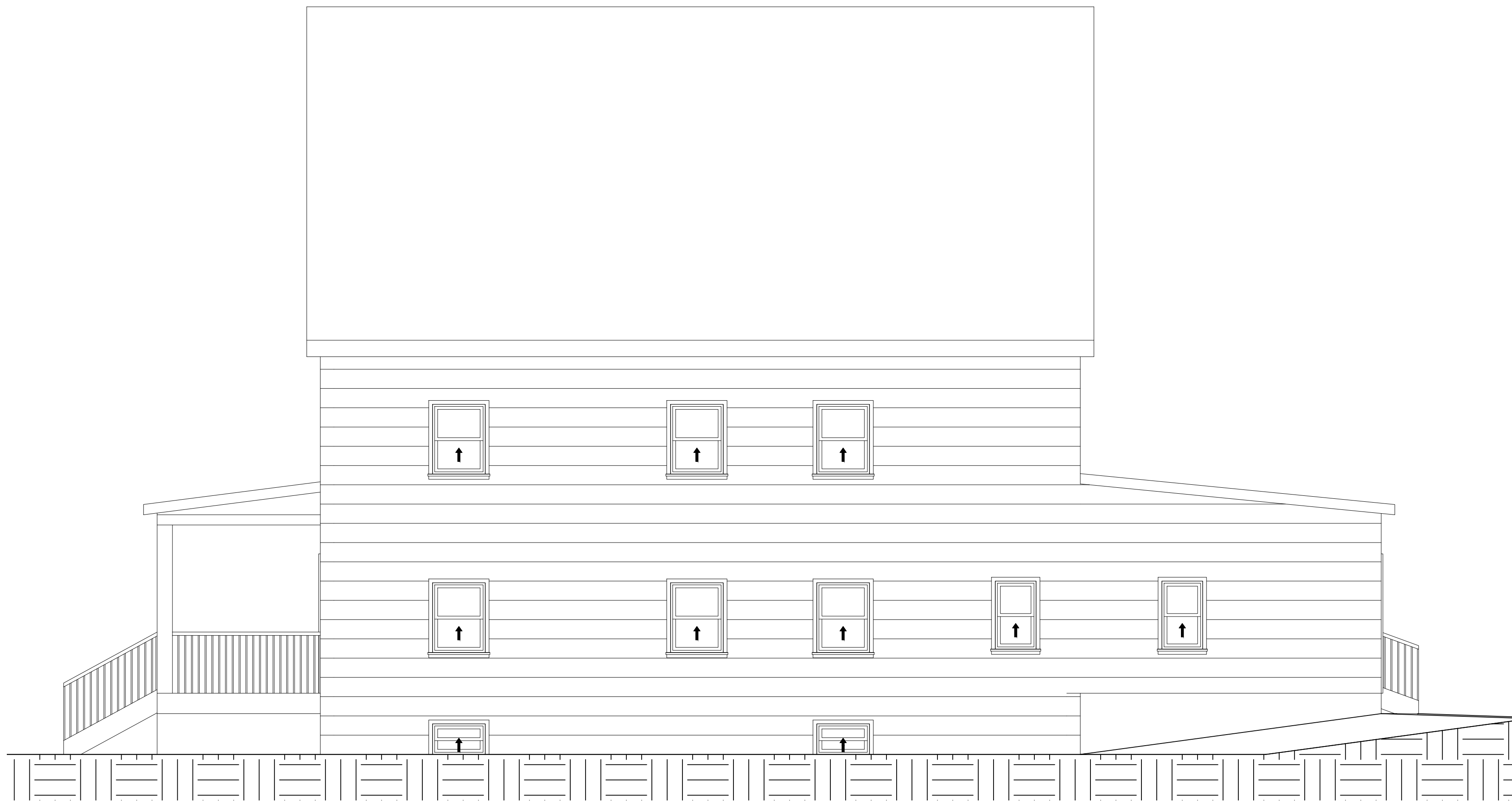
| ISSUE DATES |      |            |
|-------------|------|------------|
| 1           | 2.27 | ORIG. SUB. |
|             |      |            |
|             |      |            |

SCALE:  
 PROJECT NO:  
 DRAWN BY: KMD  
 CHECKED BY: DGG  
 CONTENT  
 EXISTING PLANS

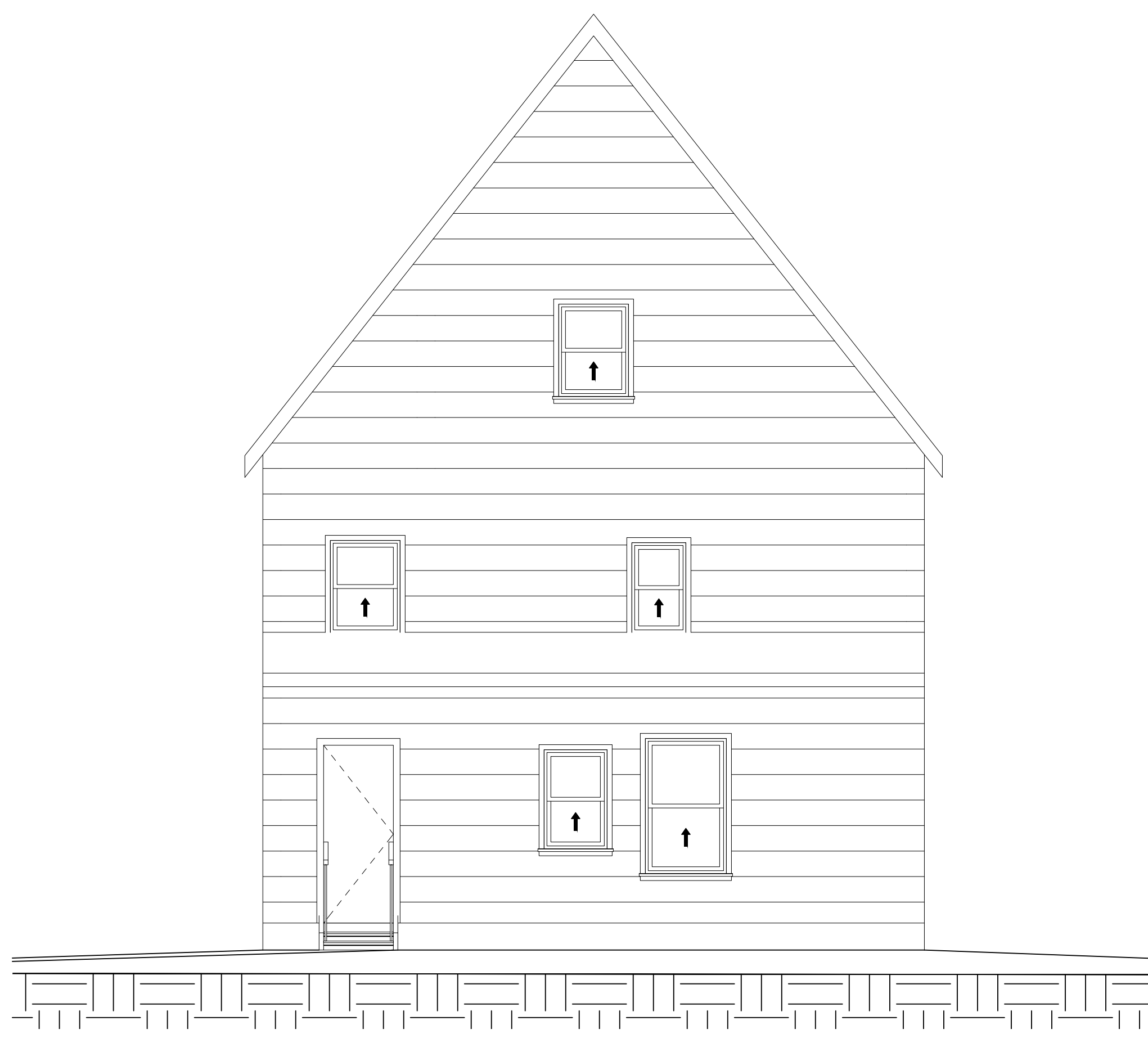
DRAWING NO.  
**EX.01**  
 SHEET 3 OF 32



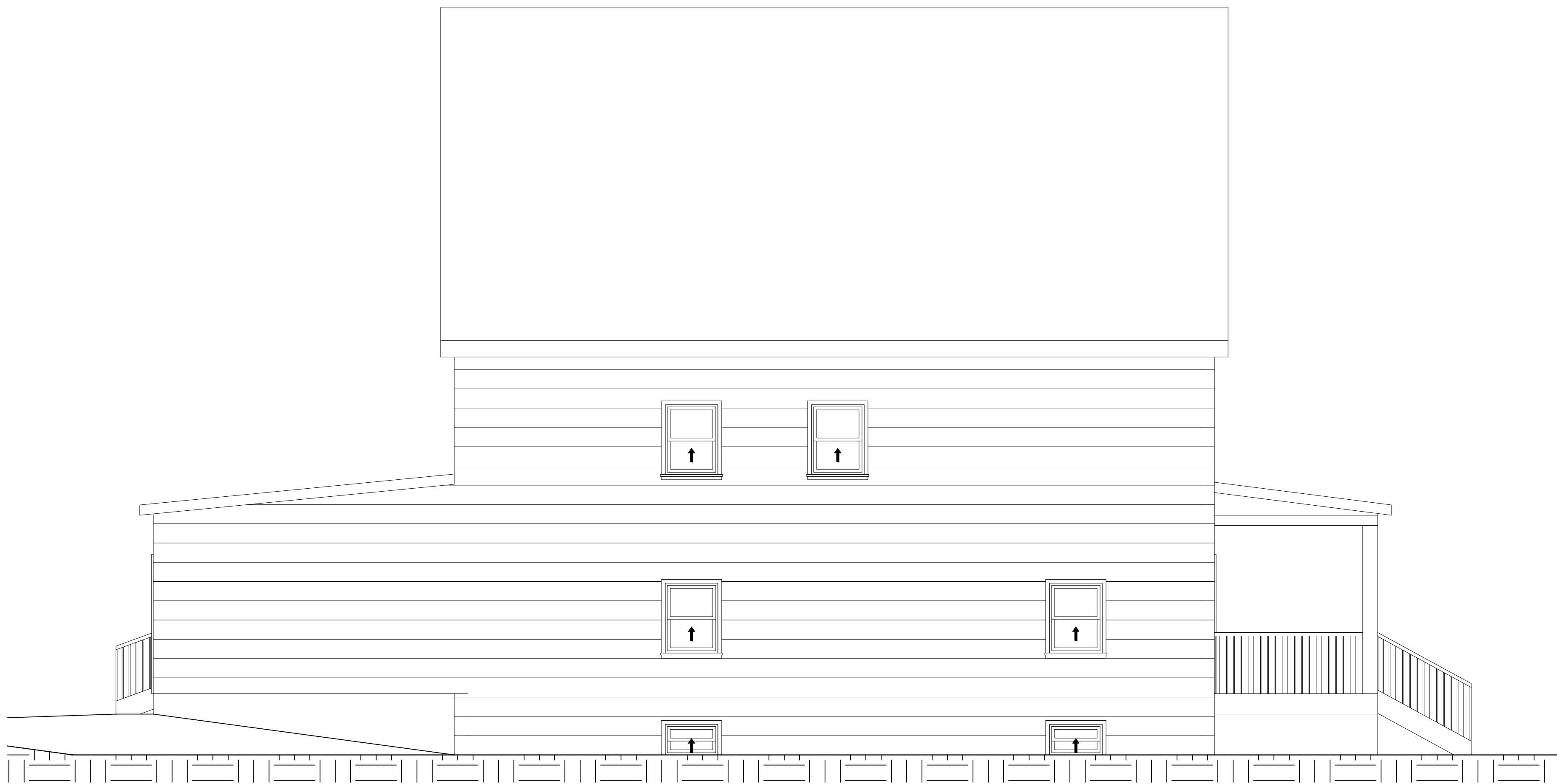
1 EXISTING SOUTH ELEVATION  
EX.02/SCALE: 1/4" = 1'-0"



2 EXISTING EAST ELEVATION  
EX.02/SCALE: 1/4" = 1'-0"



3 EXISTING NORTH ELEVATION  
EX.02/SCALE: 1/4" = 1'-0"



4 EXISTING WEST ELEVATION  
EX.02/SCALE: 1/4" = 1'-0"

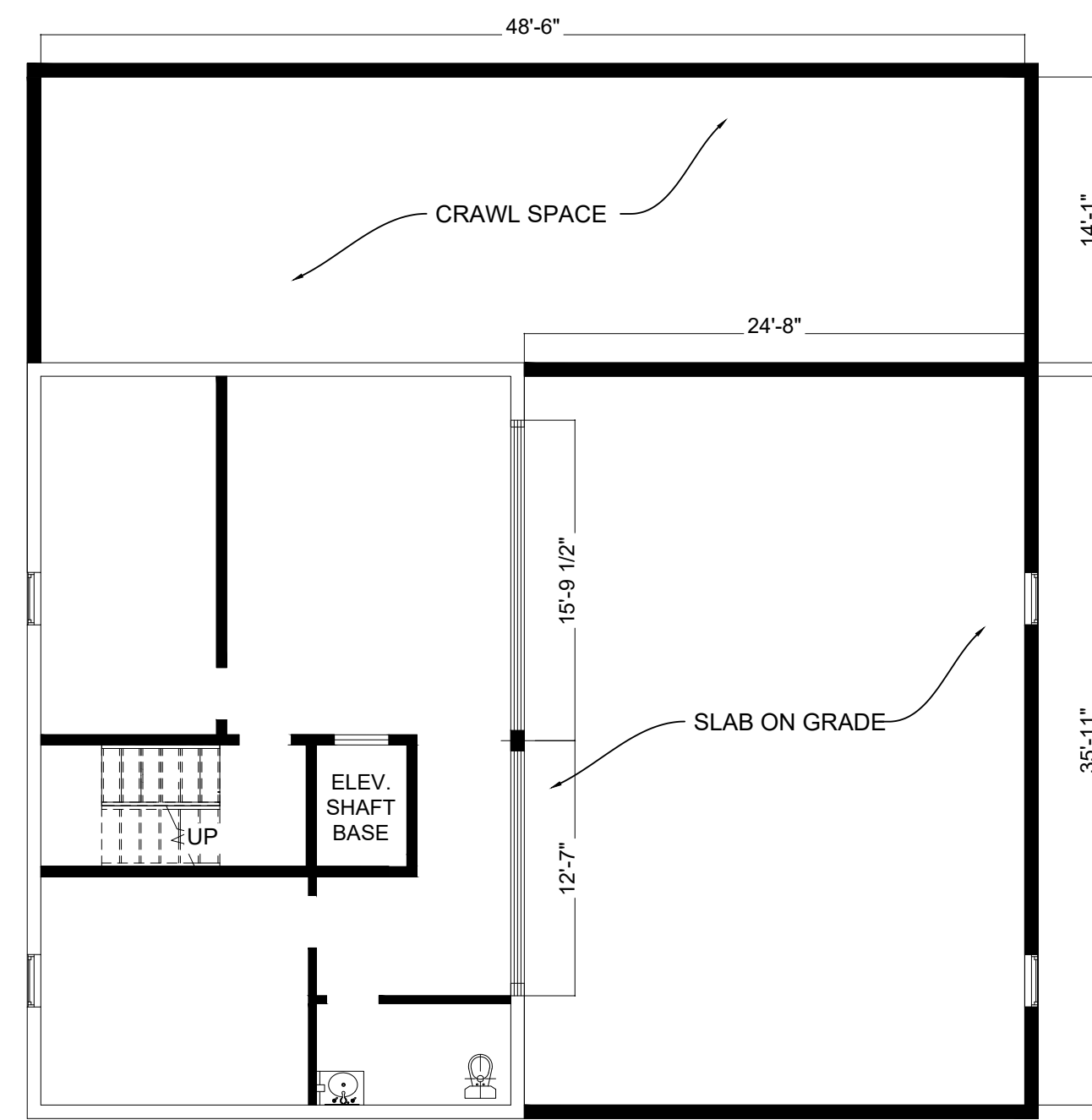
| ISSUE DATES |      |            |
|-------------|------|------------|
| 1           | 2.27 | ORIG. SUB. |
|             |      |            |
|             |      |            |

|                 |
|-----------------|
| SCALE:          |
| PROJECT NO:     |
| DRAWN BY: KMD   |
| CHECKED BY: DGG |
| CONTENT:        |
| EXISTING ELEV'S |

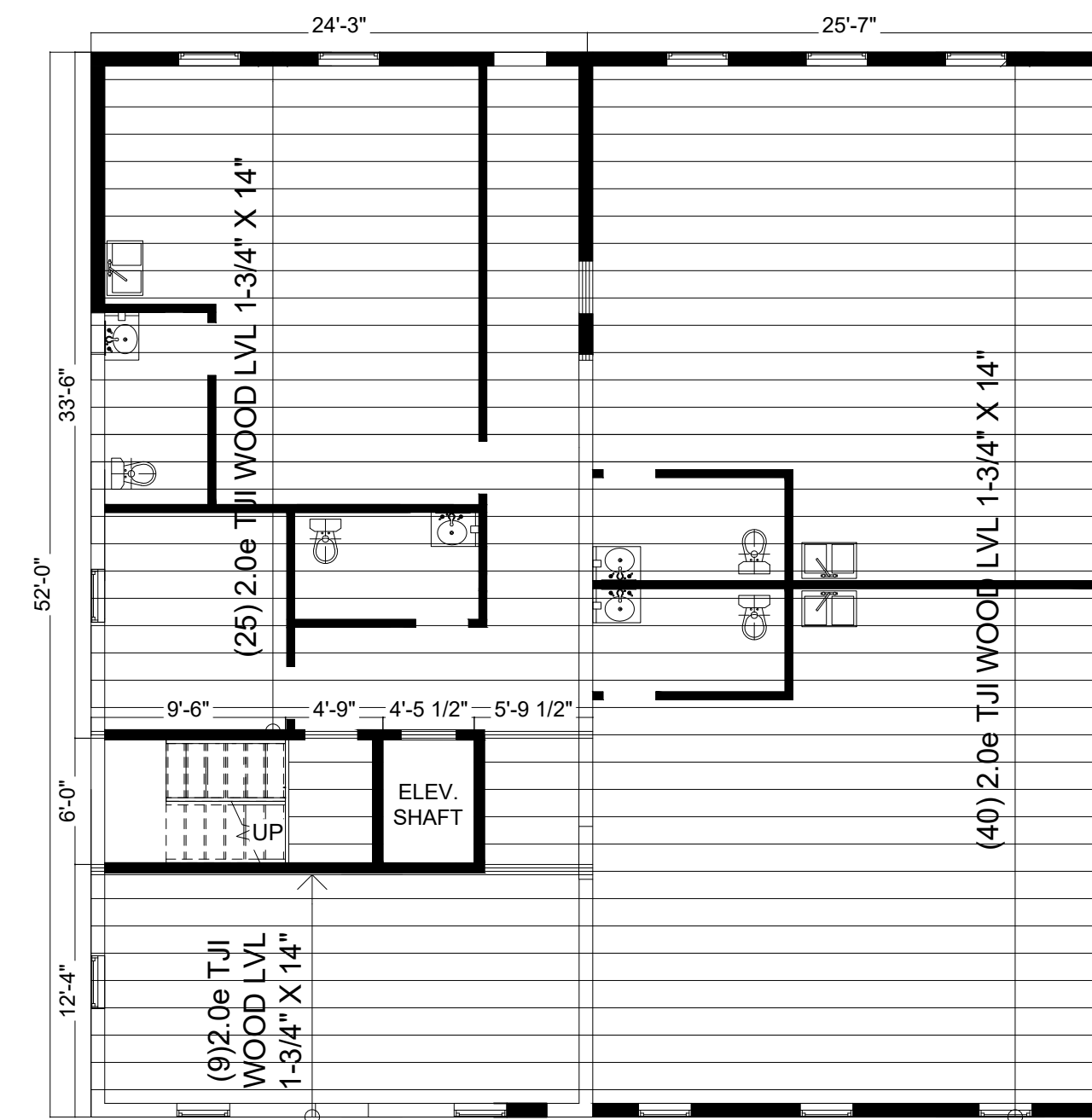
DRAWING NO.

EX.02

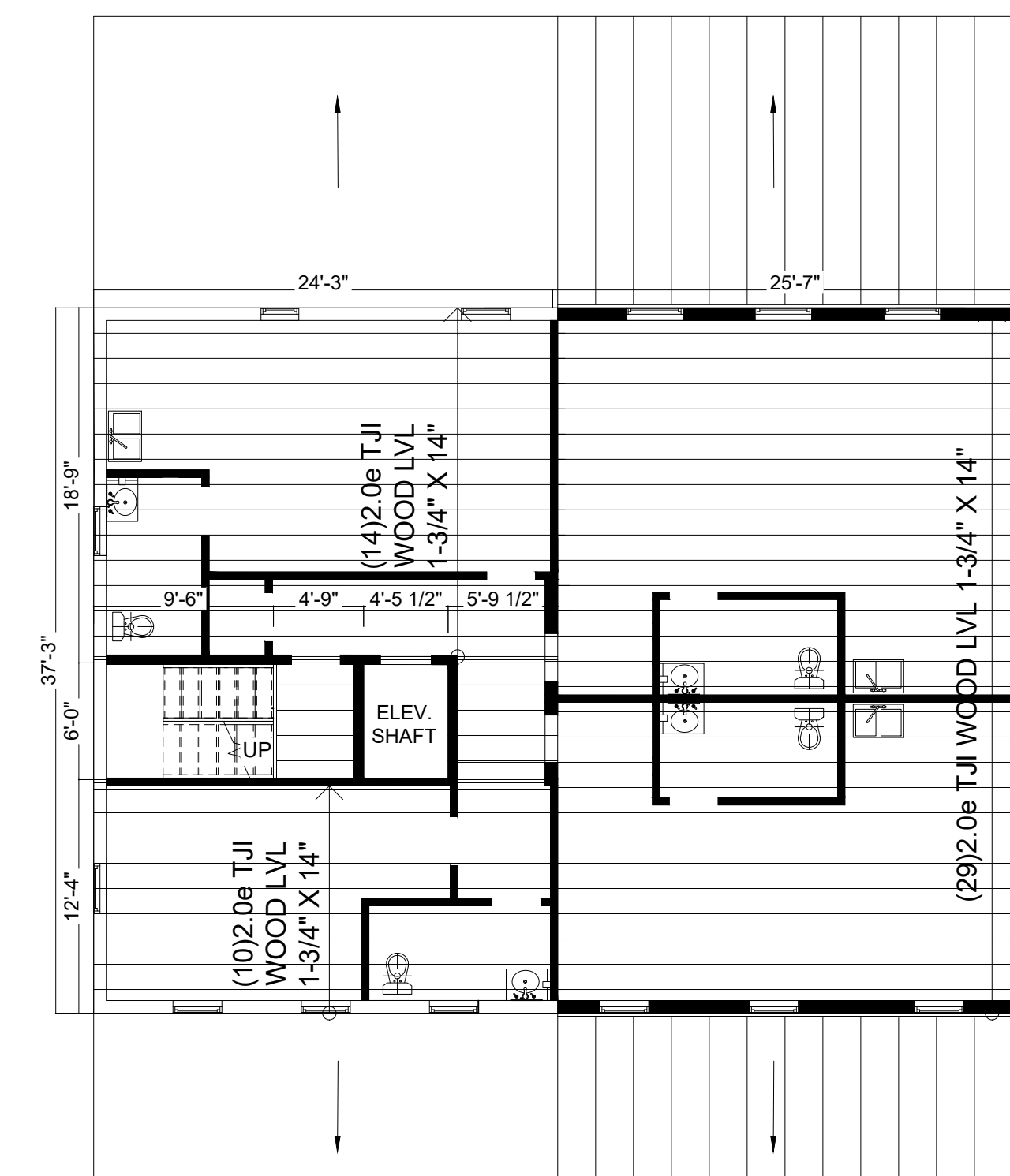
SHEET 8 OF 32



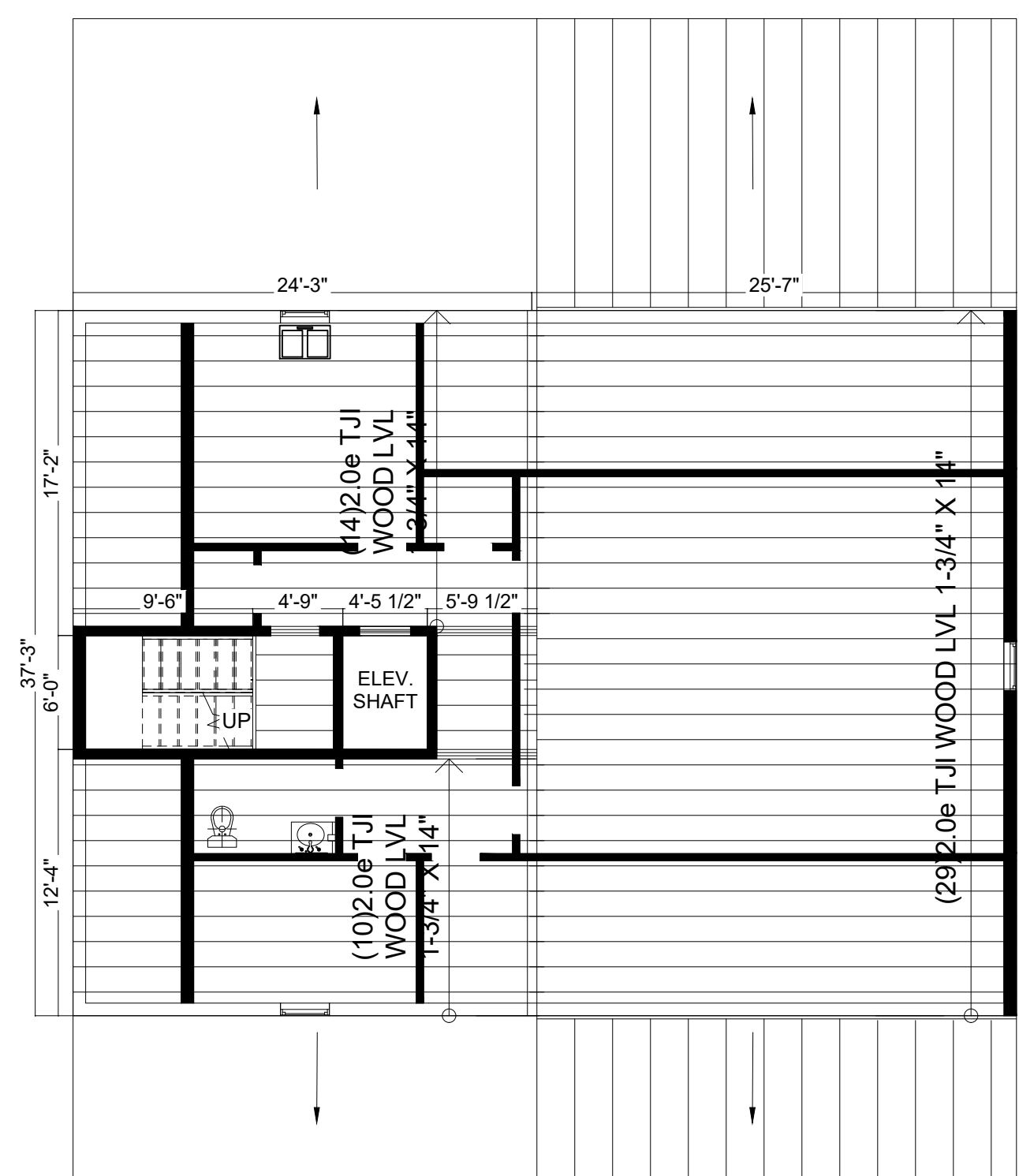
1 BASEMENT FRAMING PLAN  
S.01 SCALE: 1/8" = 1'-0"



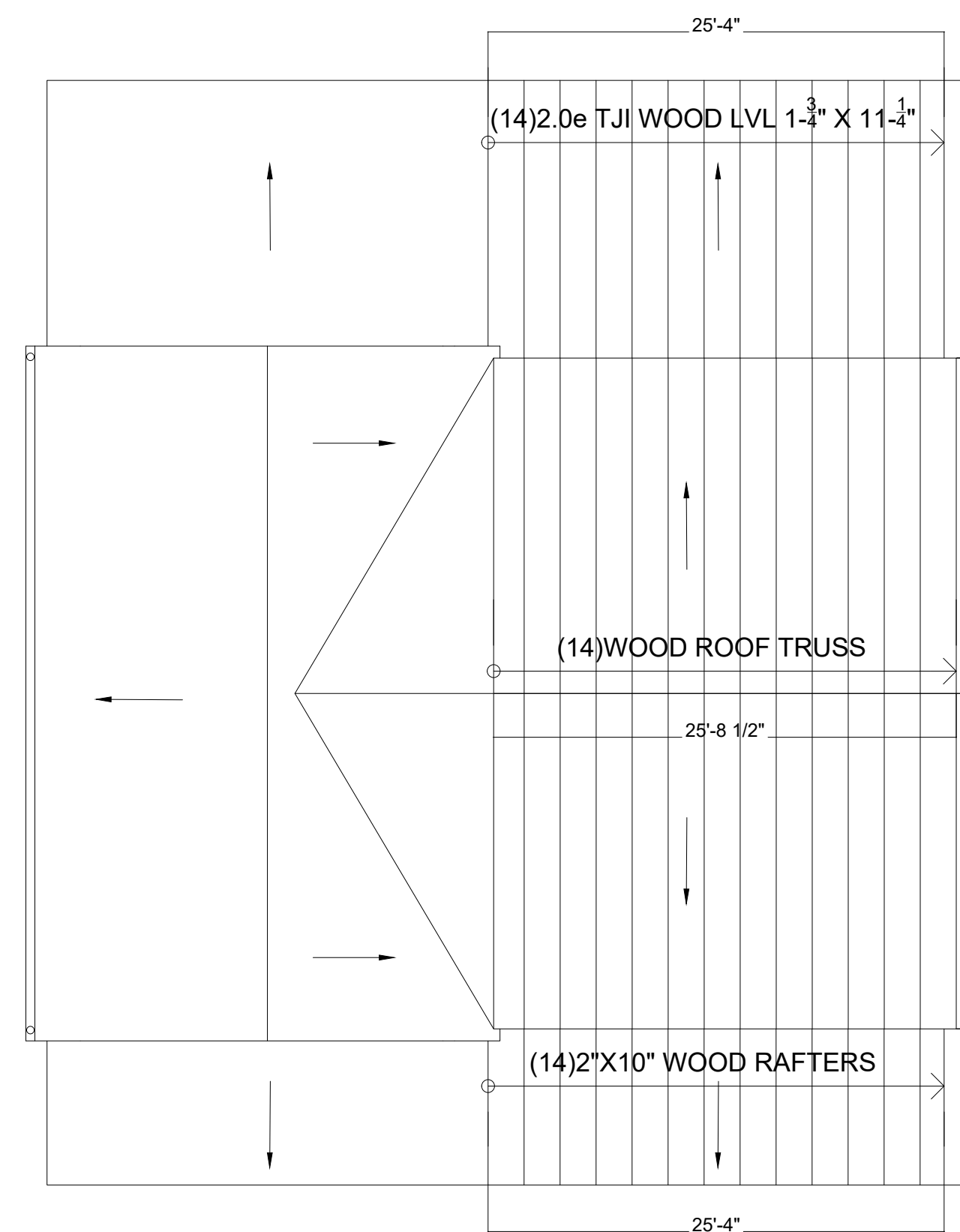
2 FIRST FLOOR FRAMING PLAN  
S.01 SCALE: 1/8" = 1'-0"



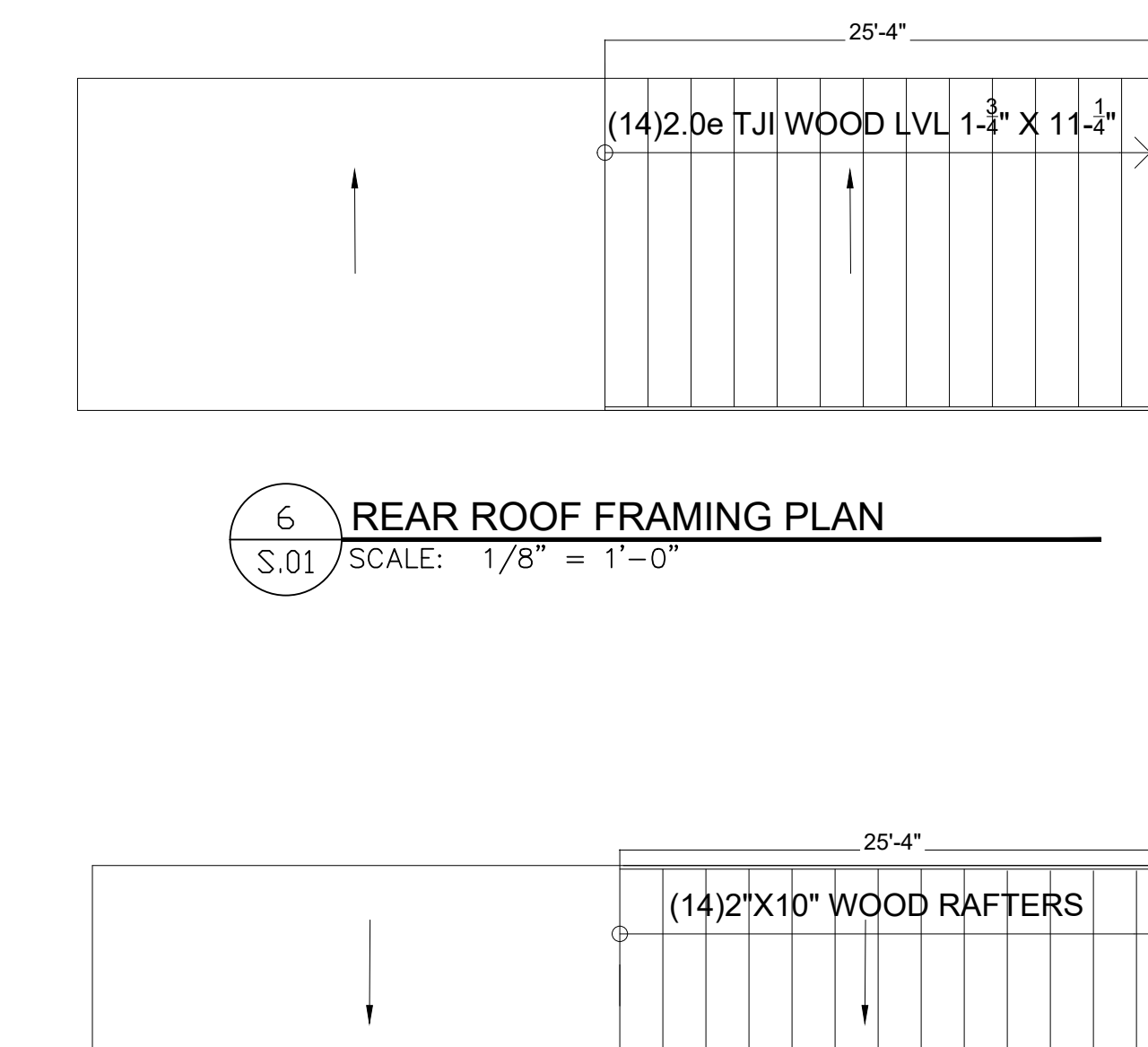
3 SECOND FLOOR FRAMING PLAN  
S.01 SCALE: 1/8" = 1'-0"



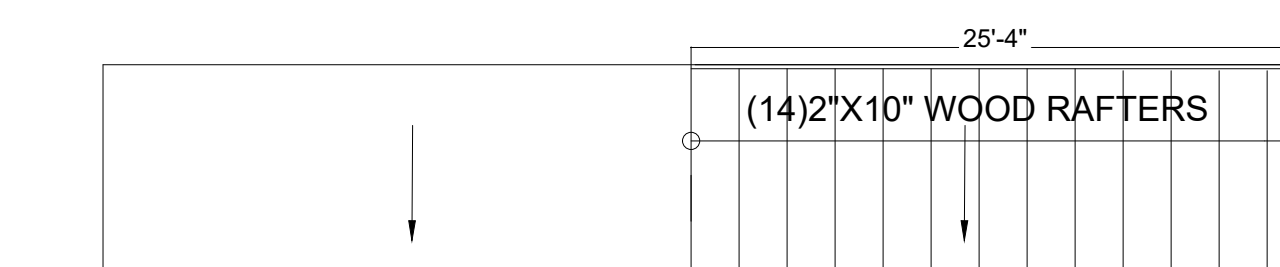
4 THIRD FLOOR FRAMING PLAN  
S.01 SCALE: 1/8" = 1'-0"



5 ROOF FRAMING PLAN  
S.01 SCALE: 1/8" = 1'-0"



6 REAR ROOF FRAMING PLAN  
S.01 SCALE: 1/8" = 1'-0"



7 FRONT ROOF FRAMING PLAN  
S.01 SCALE: 1/8" = 1'-0"



SULTON CAMPBELL BRITT & ASSOCIATES, P.C.  
Architecture \* Historic Preservation \* Planning \* LEED \* Consulting  
Founded 1964

1010 EAST 43RD STREET  
BALTIMORE, MD. 21212  
COMMERCIAL RENOVATION

| ISSUE DATES |                 |
|-------------|-----------------|
| 1           | 2.27 ORIG. SUB. |

SCALE:  
PROJECT NO:  
DRAWN BY: KMD  
CHECKED BY: DGG  
CONTENT: FRAMING PLANS

DRAWING NO.  
**S.01**  
SHEET 5 OF 32

# General Notes

1.0

## GENERAL CONDITIONS

- A. THE STANDARD GENERAL CONDITIONS FOR THE CONSTRUCTION CONTRACT N.S.P.E. DOCUMENT 1918-B SHALL GOVERN THIS WORK AS IF ENTIRELY INCLUDED ON THESE DRAWINGS.

1.1

## DESIGN LOADS

- A. THE STRUCTURE WAS DESIGNED FOR THE LIVE LOADS SHOWN BELOW AND DEAD LOADS AS REQUIRED BY CONSTRUCTION IN ACCORDANCE WITH IRC 2018. INCREASE IN THESE LOADINGS, DUE TO CHANGE IN FUNCTION, CONSTRUCTION MATERIALS, ETC. TO HAVE WRITTEN APPROVAL FROM THE DESIGNING STRUCTURAL ENGINEER.
- B. LIVE LOADS SHOWN BELOW ARE IN POUNDS PER SQUARE FOOT.
- ROOF LIVE LOAD: 30 GROUND SNOW LOAD (PG): 25  
FLOOR LIVE LOAD: 50 SNOW LOAD IMPORTANCE FACTOR: 1.0
- WIND CRITERIA:  
BASIC WIND SPEED: 90 MPH (3 SECOND GUST)  
WIND IMPORTANCE FACTOR (I<sub>w</sub>): 1.0, BUILDING CATEGORY: II  
MAIN WIND FORCE SYSTEM EXPOSURE CATEGORY: B

1.3

## EXISTING CONDITIONS

- A. EXPOSE EXISTING FRAMING AND NOTIFY ARCHITECT PRIOR TO INSTALLATION OF NEW FRAMING.
- B. CONTRACTOR MUST FIELD CHECK AND VERIFY DIMENSIONS AND ELEVATIONS OF EXISTING WORK PRIOR TO FABRICATION OF NEW MATERIALS.
- C. RELOCATE EXISTING PLUMBING AND HVAC AS REQUIRED TO ALLOW INSTALLATION OF NEW FRAMING.

2.1

## DEMOLITION

- A. DEMOLITION INCLUDES CONTROLLED DESTRUCTION OF STRUCTURES AND THE REMOVAL AND DISPOSAL OF DEMOLISHED MATERIALS AS SHOWN ON THE DRAWINGS AND INCLUDED IN THESE NOTES.
- B. PERFORM DEMOLITION IN SECTIONS SMALL ENOUGH TO PREVENT DAMAGE OF MATERIALS, FACILITIES OR EMBANKMENTS TO REMAIN IN PLACE.
- C. PROVIDE ADEQUATE SHORING, BRACING AND PROTECTION TO PREVENT MOVEMENT, SETTLEMENT, COLLAPSE OR DAMAGE TO EXISTING MATERIALS, FACILITIES OR EMBANKMENTS TO REMAIN.
- D. PROMPTLY REPAIR DAMAGES CAUSED BY THE DEMOLITION TO ADJACENT FACILITIES, MATERIALS OR EMBANKMENTS AT NO COST TO THE OWNER.
- E. PROMPTLY REMOVE FROM SITE AND PROPERLY DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM THE DEMOLITION.

2.2

## UNDERPINNING

- A. UNDERPINNING SHALL BE WITH NOTED AND SHALL BE POURED CONCRETE. SEE CONCRETE NOTES FOR MATERIALS.
- B. INSTALL UNDERPINNING IN LENGTHS SMALL ENOUGH AND SPACED FAR ENOUGH APART TO PREVENT DAMAGE TO THE SUPERSTRUCTURE. TAKE CARE TO ENSURE AGAINST LOSS OF EARTH BEHIND THE WALL. EXCAVATE NO UNDERPINNING SEGMENTS LONGER THAN 4'-0" (UNO) AND NO TWO SEGMENTS CLOSER THAN TWELVE FEET CLEAR FROM ONE ANOTHER. IT IS SOLELY THE CONTRACTORS RESPONSIBILITY TO SEE THAT THE UNDERPINNING IS DONE PROPERLY AND THAT SUCH UNDERPINNING WILL NOT DAMAGE OR ENDANGER THE SUPERSTRUCTURE OF THIS OR ADJOINING BUILDINGS.
- C. KEY UNDERPINNING SEGMENTS TOGETHER WITHIN A MINIMUM OF ONE TWO-BY-FOUR INCH VERTICAL KEY AT EVERY JOINT.
- D. CONTRACTOR IS RESPONSIBLE FOR EXISTING WORK AND SHALL REPAIR OR REPLACE TO ITS PRESENT CONDITION ANY DAMAGE OR INJURY CAUSED DURING UNDERPINNING AT NO CHANGE IN THE CONTRACT PRICE.
- E. PROVIDE NECESSARY TEMPORARY SHORING DURING THE UNDERPINNING OPERATIONS TO PREVENT DAMAGE TO ADJACENT WORK.
- F. PRIOR TO POURING CONCRETE, OWNER SHALL EMPLOY A PROFESSIONAL GEOTECHNICAL ENGINEER (REGISTERED IN THE STATE OF MARYLAND) TO VERIFY THAT SOIL BEARING CAPACITY MEETS THAT SPECIFIED IN THE GENERAL NOTES.
- G. LAP HORIZONTAL REBAR TO KEY UNDERPINNING SEGMENTS TOGETHER. REBAR FOR LAPS TO BE 3'-0" LONG AND TO BE DRIVEN INTO EARTH OF NEXT EXCAVATION 1'-6" EACH SIDE.

2.4

## FOUNDATIONS

- A. A SOIL BEARING CAPACITY OF 3,000 PSF WAS USED FOR FOOTING DESIGN. ENGAGE THE SERVICES OF A GEOTECHNICAL ENGINEER TO VERIFY EXCAVATIONS AND SOIL BEARING CAPACITY. IF SOIL OF THIS CAPACITY IS NOT ENCOUNTERED AT ELEVATIONS INDICATED, CONTACT ENGINEER OF RECORD (EOR).
- B. COMPACT FILL AND BACKFILL TO 95% OF ASTM D-698. PERFORM FILL AND BACKFILL OPERATIONS UNDER THE DIRECT SUPERVISION OF THE GEOTECHNICAL ENGINEER.
- C. PRIOR TO POURING CONCRETE, ENGAGE THE SERVICES OF A PROFESSIONAL GEOTECHNICAL ENGINEER (REGISTERED IN THE JURISDICTION WHERE THE PROJECT IS LOCATED), TO PERFORM TESTS, BORINGS, ETC., REQUIRED TO CERTIFY THAT THE SOIL BEARING CAPACITY MEETS OR EXCEEDS THAT SHOWN IN THE GENERAL NOTES ABOVE. GEOTECHNICAL ENGINEER SHALL VERIFY SUBGRADE CAPACITIES PRIOR TO INSTALLATION OF DRAINAGE FILL AND MOISTURE BARRIER.

3.1

## CONCRETE

- A. UNLESS GOVERNED BY BUILDING CODE OR LOCAL AMENDMENTS: CONCRETE WORK INCLUDING FORMING, MIXING, PLACING, AND CURING SHALL BE IN ACCORDANCE WITH ACI 301. PLACEMENT OF REINFORCING SHALL BE IN ACCORDANCE WITH ACI 315 AND 318. WHEN THERE IS A CONFLICT, THE MOST STRINGENT IS TO APPLY.
- B. CONCRETE REINFORCING: A.S.T.M. A-615, GRADE 60.
- C. WELDED WIRE MESH: A.S.T.M. A-185.
- D. PORTLAND CEMENT: A.S.T.M. C-150, TYPE I.
- E. BLENDED HYDRAULIC CEMENT: A.S.T.M. C-595.
- F. FLY ASH: A.S.T.M. C-618, CLASS F (25% MAX.)
- G. AGGREGATE: A.S.T.M. C-33. 1" MAXIMUM FOR FOOTINGS, WALLS AND SLABS ON GRADE. 3/8" MAXIMUM FOR THIN SLABS AND 3/8" FOR WALL FILL.
- H. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF: 3,000 PSI.
- I. WATER CEMENT RATIO NOT TO EXCEED .54 FOR 3,000 PSI CONCRETE.
- J. INSTALL WELDED WIRE MESH 2" BELOW UPPER SURFACE OF CONCRETE SLAB.
- K. REINFORCING FOR FOOTINGS AND OTHER CONCRETE USING EARTH FORMS SHALL HAVE 3" CONCRETE COVER. REINFORCING FOR CONCRETE EXPOSED TO GROUND OR WEATHER AFTER REMOVAL OF FORMS SHALL HAVE 2" CONCRETE COVER. REINFORCING SHALL HAVE 3/4" CONCRETE COVER FOR SLABS AND WALLS AND 1 1/2" COVER FOR BEAMS, GIRDERS & COLUMNS.
- L. LAP CONTINUOUS FOOTING REINFORCING 44 BAR DIAMETERS AT SPLICES.
- M. USE A WATER REDUCING ADMIXTURE IN ALL CONCRETE.
- N. USE A MINIMUM OF 5 1/2 BAGS OF CEMENT AND A MAXIMUM OF 6 1/2 GALLONS OF WATER PER BAG FOR EACH CUBIC YARD OF CONCRETE.
- O. SLUMP - AS REQUIRED BY ACI (211.1) EXCEPT THAT SLABS ON GRADE AND THIN FRAMED SLABS SHALL HAVE A MAXIMUM SLUMP OF 4". SHOULD EXTRA WATER BE REQUIRED BEFORE DEPOSITING CONCRETE AND WATER/CEMENT RATIO OF ACCEPTED MIX DESIGN HAS NOT BEEN EXCEEDED, GENERAL CONTRACTOR'S SUPERINTENDENT SHALL HAVE SOLE AUTHORITY TO AUTHORIZE ADDITION OF WATER. ANY ADDITIONAL WATER ADDED TO MIX AFTER LEAVING BATCH PLANT SHALL BE INDICATED ON THE TRUCK TICKET AND SIGNED BY PERSON RESPONSIBLE. SUBMIT COPY OF TRUCK TICKET FOR REVIEW.
- P. NO CALCIUM CHLORIDE WILL BE PERMITTED IN CONCRETE.

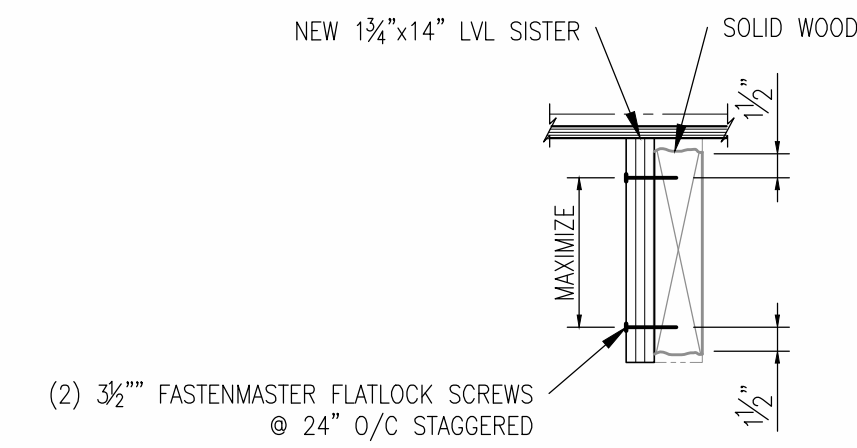
## SYMBOLS

- A. ALL TYPICAL DETAILS, SECTIONS, AND NOTES ARE GENERAL IN NATURE AND USAGE IS NOT LIMITED TO WHERE SPECIFICALLY NOTED.

B  
S-3 TYPICAL DETAIL LETTER  
SHEET WHERE DETAIL IS DRAWN

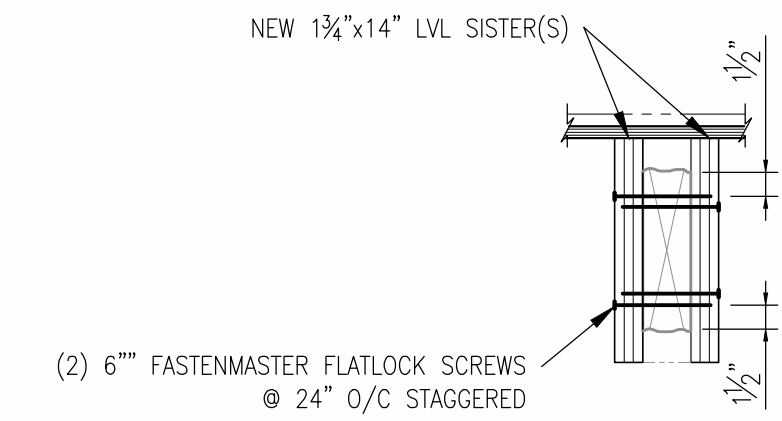
1  
S-3 SECTION NUMBER  
DIRECTION OF SECTION  
SHEET WHERE SECTION IS DRAWN

1.1 GENERAL NOTE NUMBER



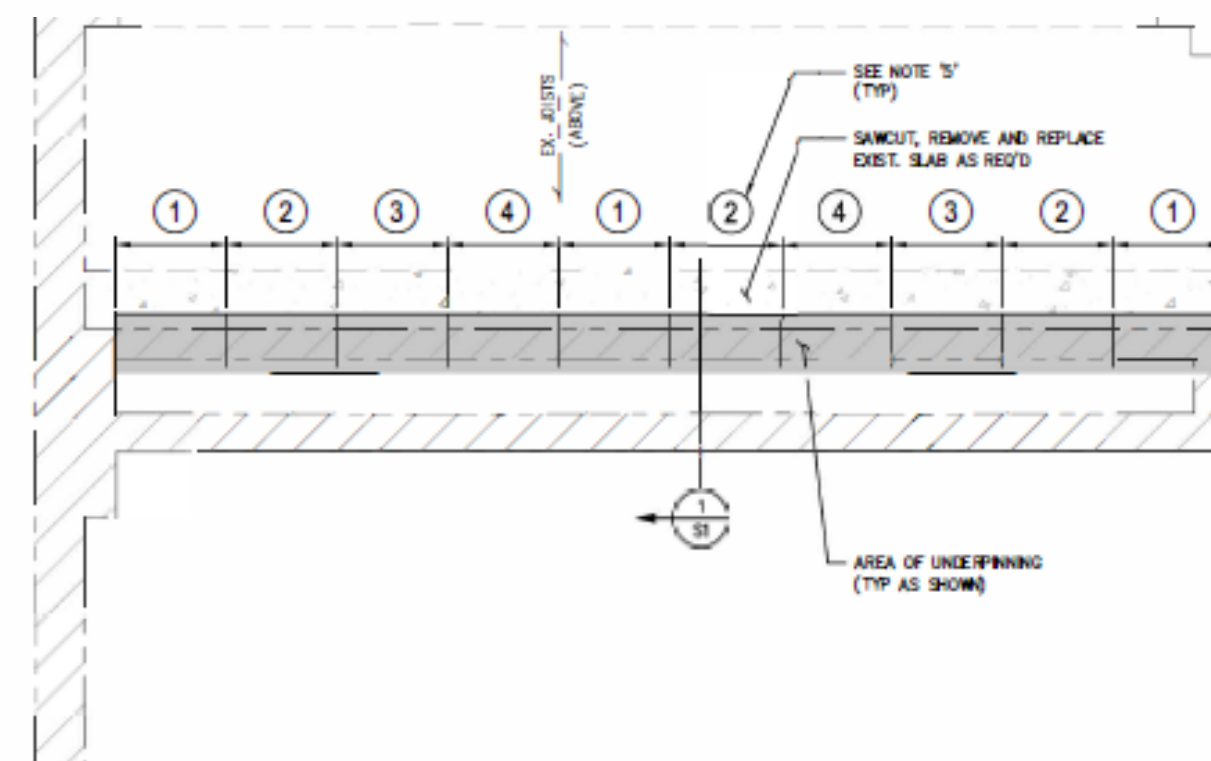
EXISTING FLOOR JOIST W/ >10%, <50% DETERIORATION

SCALE: 1"=1'-0"



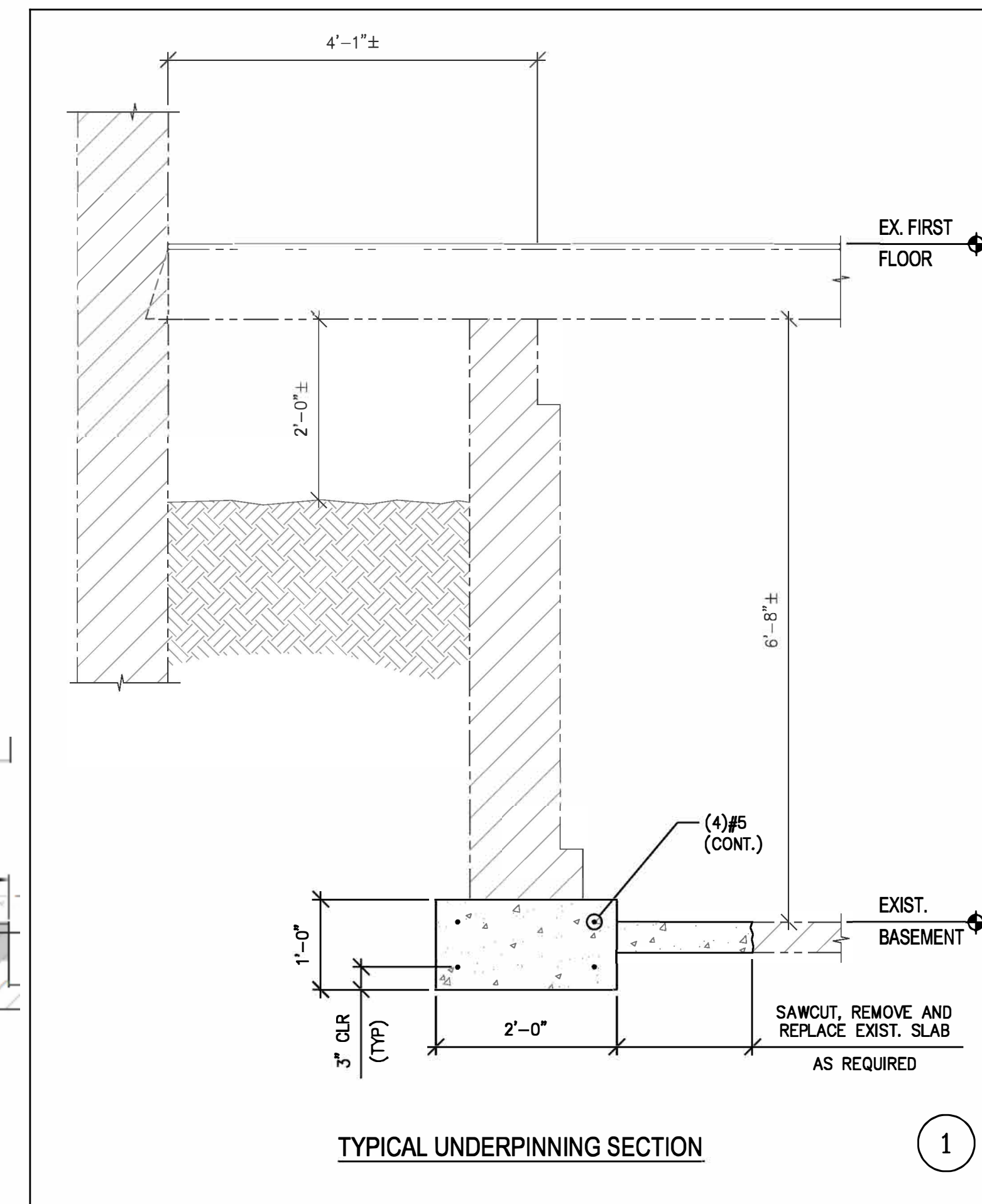
EXISTING FLOOR JOIST W/ >50% DETERIORATION

SCALE: 1"=1'-0"



TYPICAL UNDERPINNING SECTION

1



TYPICAL LINTEL SECTION

SCALE: 3/4"=1'-0"

## STEEL-LINTELS

1. ALL STEEL LINTELS IN MASONRY WALLS SHALL BE AS NOTED BELOW WITH SIZES AS FOLLOWS FOR EACH 4" OF WALL THICKNESS OR FRACTION THEREOF (UNLESS NOTED OTHERWISE ON DRAWINGS):
- | SPAN        | MINIMUM END BEARING | ANGLE SIZE          |
|-------------|---------------------|---------------------|
| UNDER 6'-0" | 8"                  | 4" X 3-1/2" X 5/16" |
2. PROVIDE 100% SOLID MASONRY BELOW ALL LINTEL BEARINGS 8" BEYOND THE OPENING FOR THE FULL WALL WIDTH AT ALL LINTELS FROM THE LINTEL BEARING TO THE FLOOR BELOW.
3. ALL LINTELS TO BE SET TRUE AND LEVEL.

# Foundation / Underpinning / Lintel

1/4" = 1'-0"

- UNDERPINNING SEGMENTS ARE TO BE IN 4'-0" (MAX) WIDTHS (UNO). PROVIDE ADDITIONAL SEGMENTS AS REQUIRED BY ACTUAL FIELD CONDITIONS. DIMENSIONS SHOWN ARE APPROXIMATE. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
- PITS IN FIRST SEQUENCE SHALL BE EXCAVATED TO PROPER ELEVATION ALLOWING FOR FULL SPECIFIED FOOTING/UNDERPINNING THICKNESS AND A NOMINAL 1" FOR FINAL GROUTING BETWEEN UNDERPINNING AND EXISTING FOUNDATION.
- PLACE UNDERPINNING WITH A HIGH EARLY STRENGTH CONCRETE MIX HAVING A DESIGNED 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI. FORMS SHALL NOT BE STRIPPED UNTIL THE UNDERPINNING CONCRETE HAS A STRENGTH OF 75% OF DESIGN STRENGTH.
- REPEAT THE ABOVE PROCEDURE FOR THE REMAINING PIT SEQUENCES. CONCRETE AND GROUT MUST ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI PRIOR TO COMMENCING EXCAVATION FOR ANY PITS DIRECTLY ADJACENT TO THE NEW WORK.
- (X) - INDICATES UNDERPINNING SEGMENT POUR NUMBER.
- AFTER INITIAL SECTION '1' EXCAVATIONS AND PRIOR TO UNDERMINING EXCAVATION OF EXISTING FOOTING, AND UNDERPINNING, NOTIFY 'UNDERPINNING STRUCTURAL ENGINEER OF RECORD' OF ANY DISCREPANCIES OF EXISTING CONDITIONS UNCOVERED THAT WOULD OTHERWISE CAUSE A DEVIATION IN THESE PLANS OR DETAILS FOR APPROVAL OF DETERMINING AN ALTERNATIVE COURSE OF ACTION.

|  |  |                         |  |            |                           |         |          |    |
|--|--|-------------------------|--|------------|---------------------------|---------|----------|----|
|  |  | Underpinning Foundation |  | DRG. TITLE | General Notes and Section |         | DRG. NO. |    |
|  |  |                         |  | JOB NO.    | 22863                     | DRW.    | NJR      |    |
|  |  |                         |  | DATE       |                           | CHECKED | SMB      |    |
|  |  |                         |  |            |                           |         |          | S1 |



SULTON CAMPBELL BRITT & ASSOCIATES, P.C.  
 Architecture \* Historic Preservation \* Planning \* LEED \* Consulting  
 Founded 1964

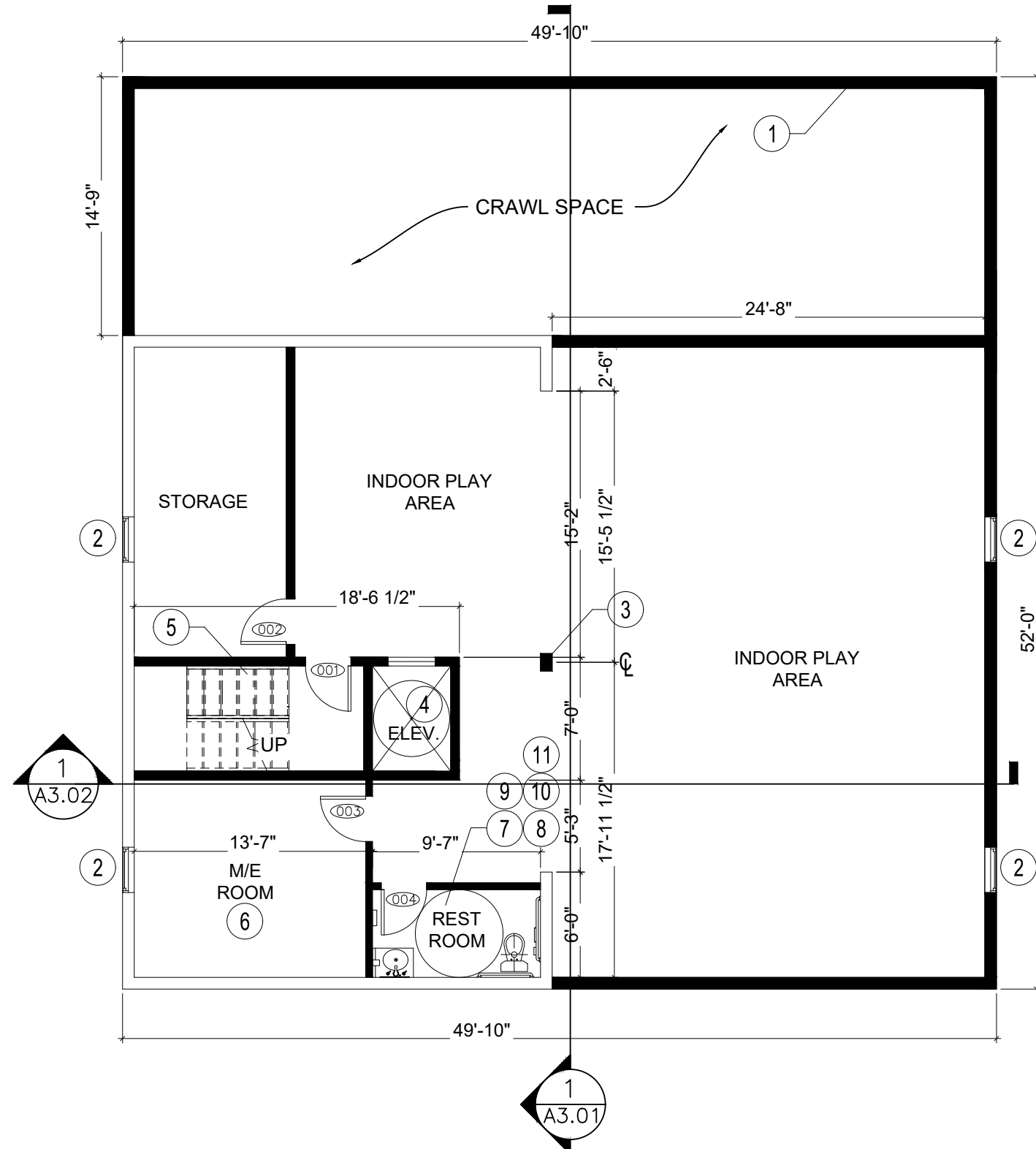
1010 EAST 43RD STREET  
 BALTIMORE, MD. 21212  
 COMMERCIAL RENOVATION

LEGEND

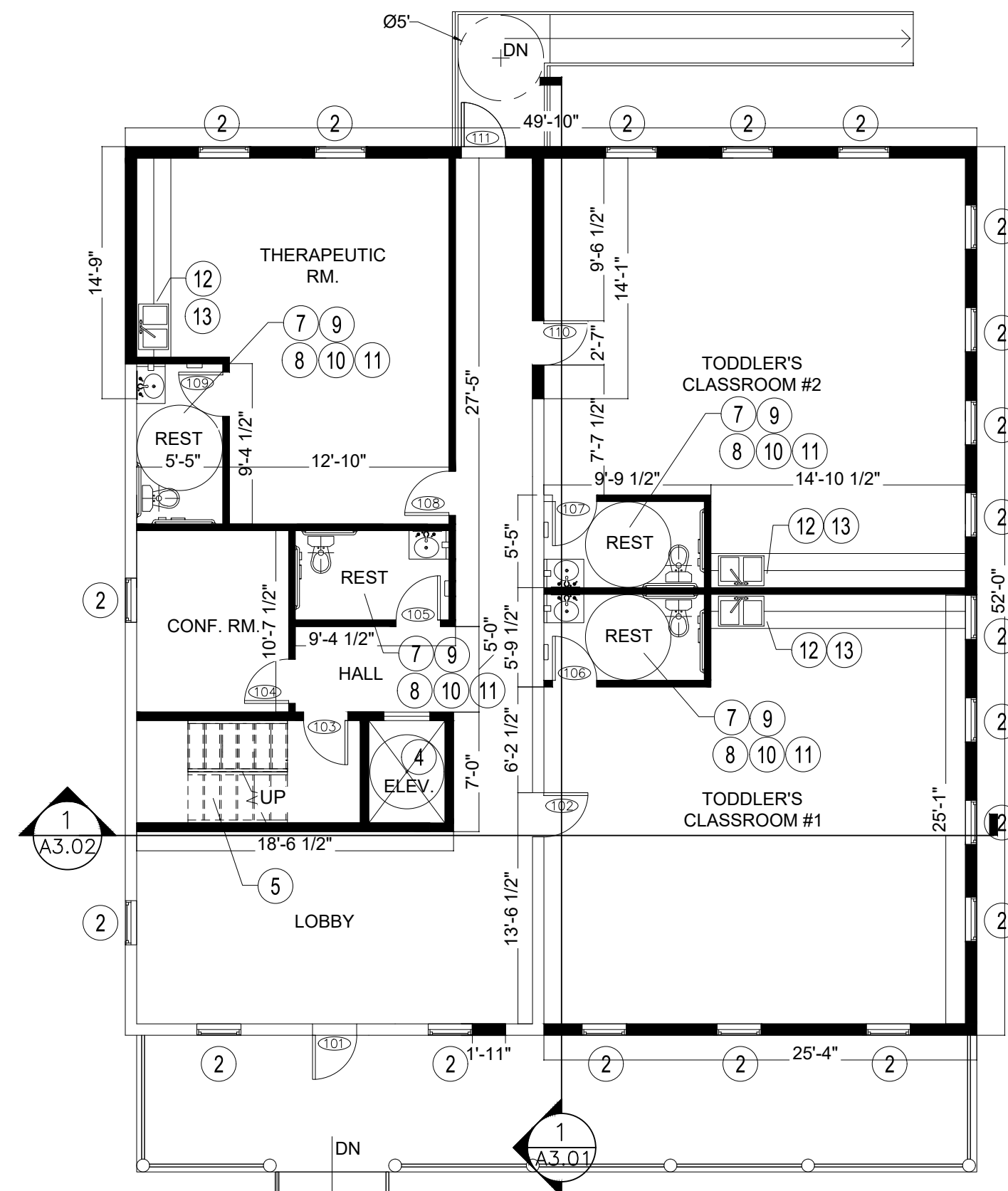
|          |  |
|----------|--|
| EXISTING |  |
| PROPOSED |  |

NEW WORK - KEY NOTES

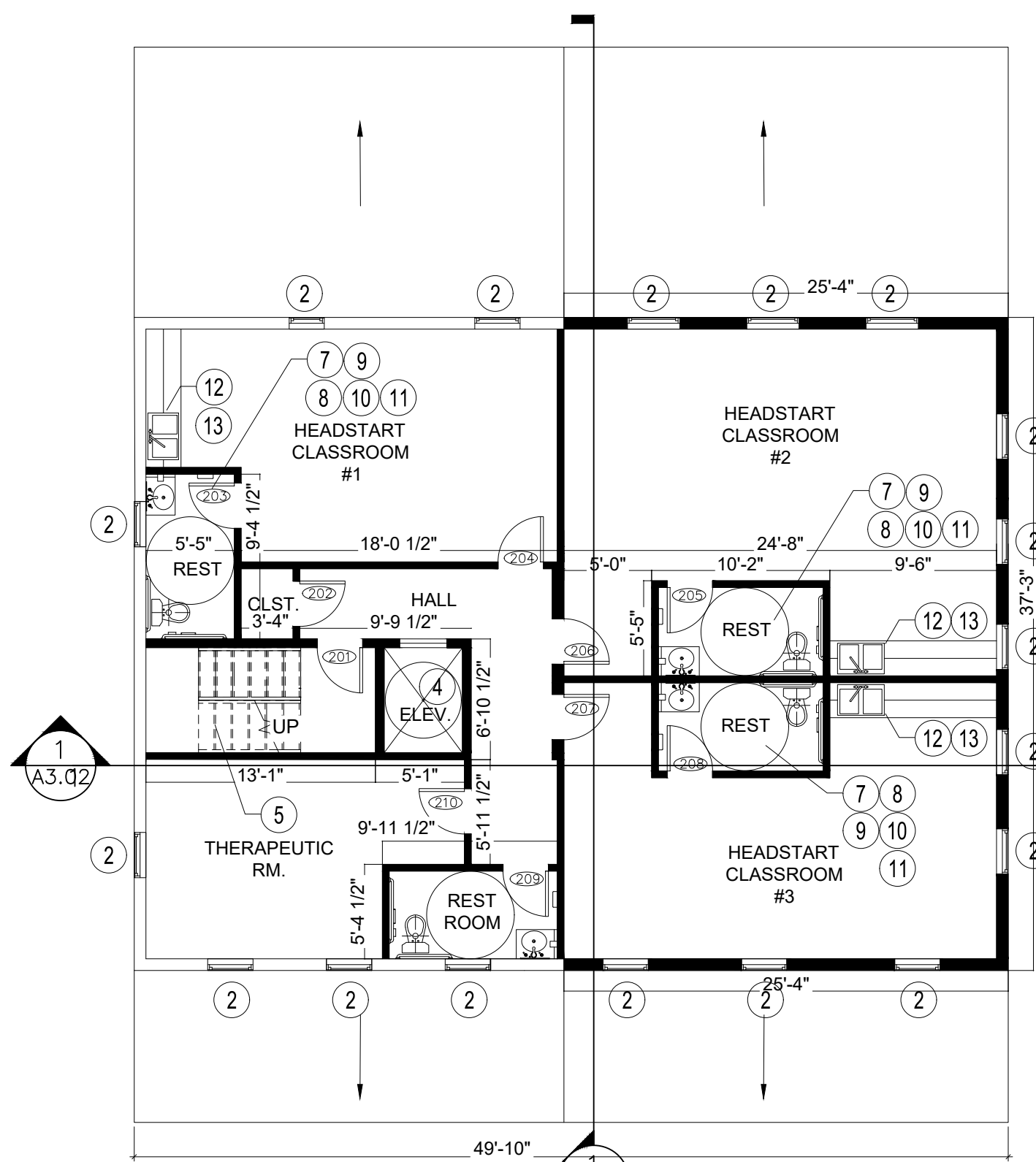
- 1 NEW WALL
- 2 NEW WINDOW
- 3 NEW COLUMN
- 4 NEW ELEVATOR
- 5 NEW STAIR
- 6 NEW MECHANICAL / ELECTRICAL RM.
- 7 NEW RESTROOM
- 8 NEW GRAB BARS
- 9 NEW TOILET
- 10 NEW FLOOR MOUNTED VANITY, MIRROR, SOAP DISPENSER
- 11 NEW TOILET PAPER DISPENSER
- 12 NEW 2 COMPARTMENT SINK
- 13 NEW BASE CABINETS & COUNTERTOP



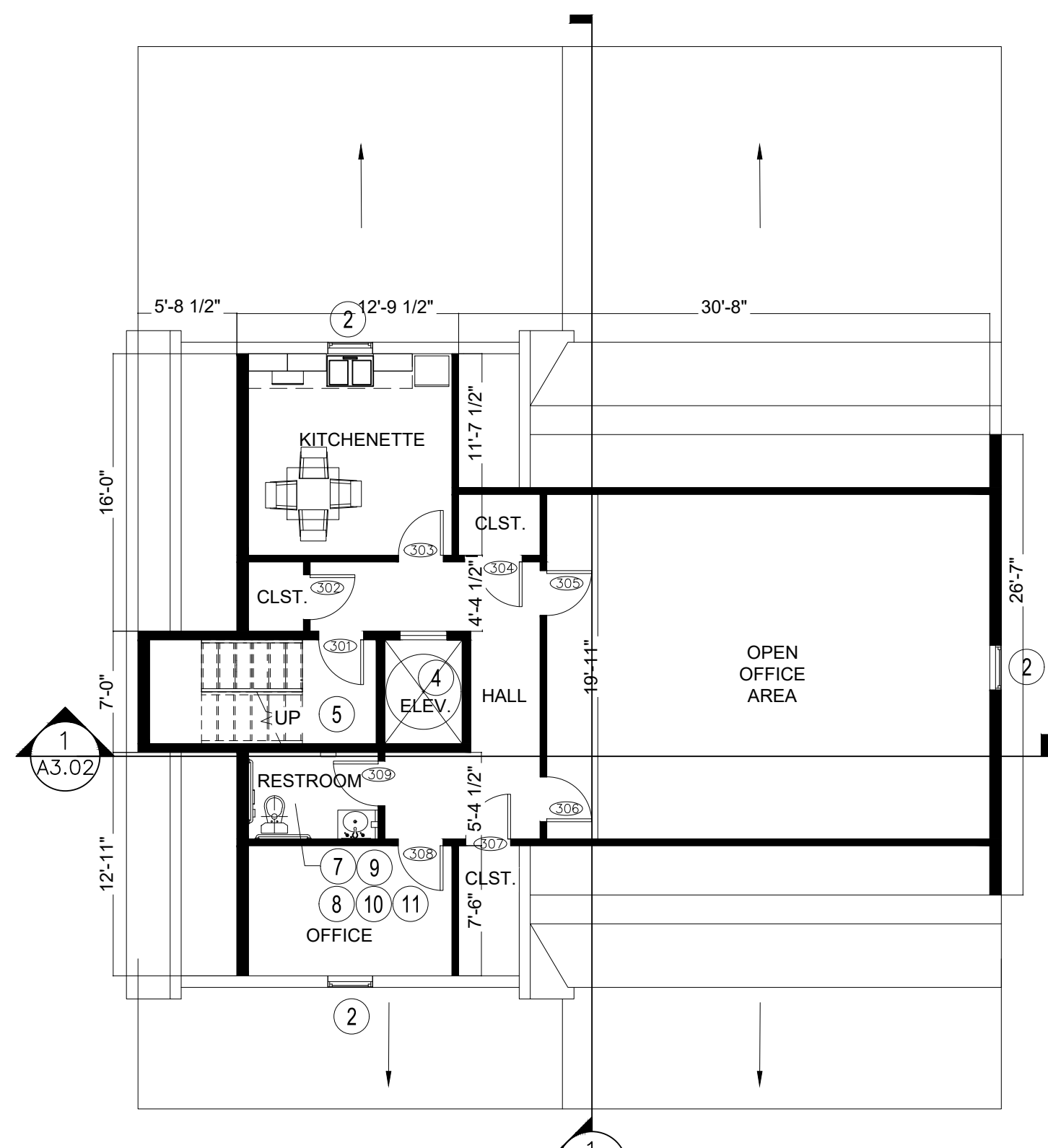
1 PROPOSED BASEMENT PLAN  
 A1.01 SCALE: 1/8" = 1'-0"



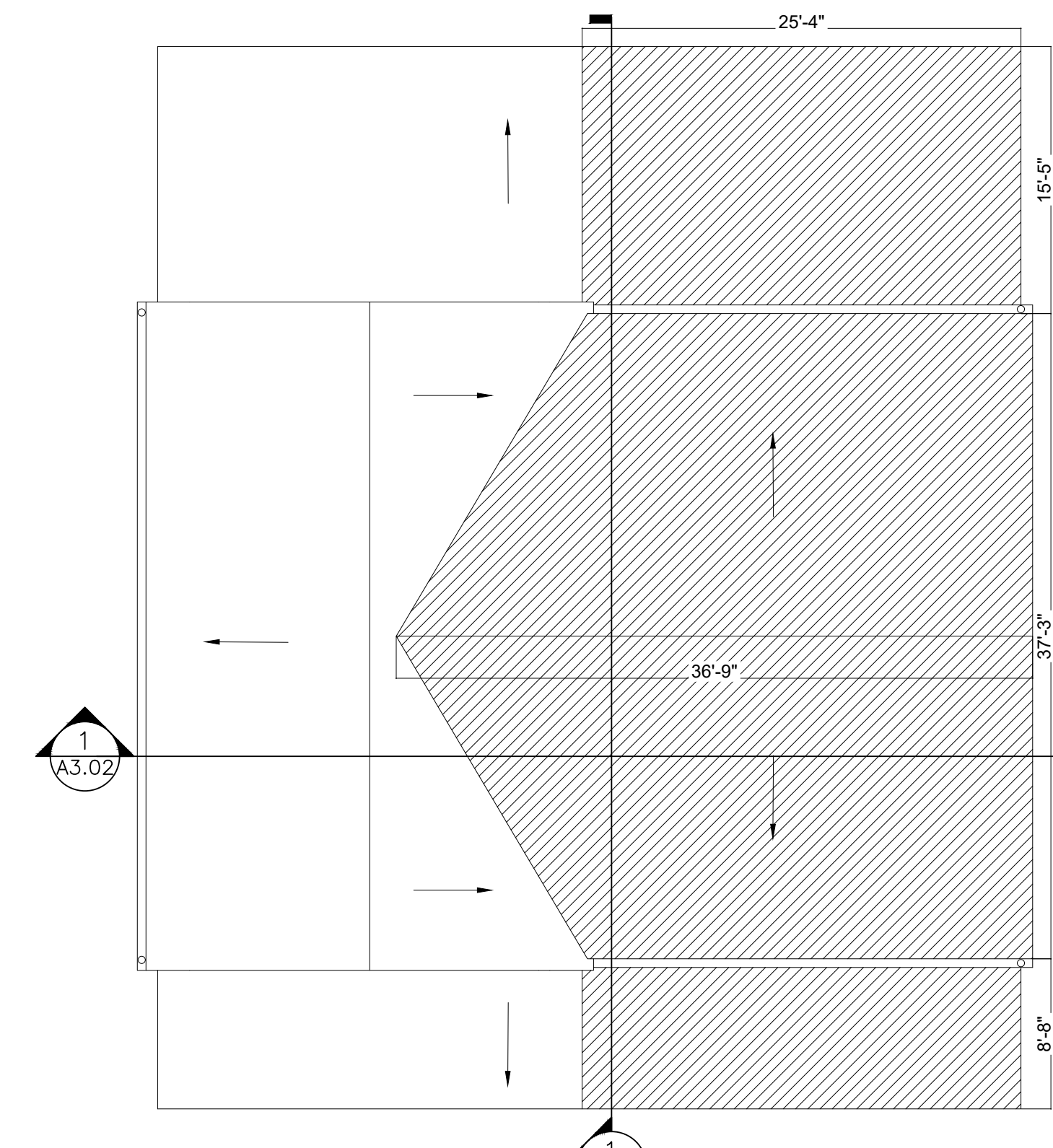
2 PROPOSED FIRST FLOOR PLAN  
 A1.01 SCALE: 1/8" = 1'-0"



3 PROPOSED SECOND FLOOR PLAN  
 A1.01 SCALE: 1/8" = 1'-0"



4 PROPOSED ATTIC FLOOR PLAN  
 A1.01 SCALE: 1/8" = 1'-0"



5 PROPOSED ROOF PLAN  
 A1.01 SCALE: 1/8" = 1'-0"

CONSTRUCTION DOCUMENTS

ISSUE DATES

|   |      |            |
|---|------|------------|
| 1 | 2.27 | ORIG. SUB. |
|---|------|------------|

SCALE:  
 PROJECT NO:  
 DRAWN BY: KMD  
 CHECKED BY: DGG  
 DATE: PROPOSED FLOOR PLANS

DRAWING NO.

A1.01

SHEET 6 OF 32



| ISSUE DATES |                 |
|-------------|-----------------|
| 1           | 2.27 ORIG. SUB. |

|                             |
|-----------------------------|
| SCALE:                      |
| PROJECT NO:                 |
| DRAWN BY: KMD               |
| CHECKED BY: DGG             |
| CONTENT: PROPOSED ELEVATION |

DRAWING NO.

A2.01



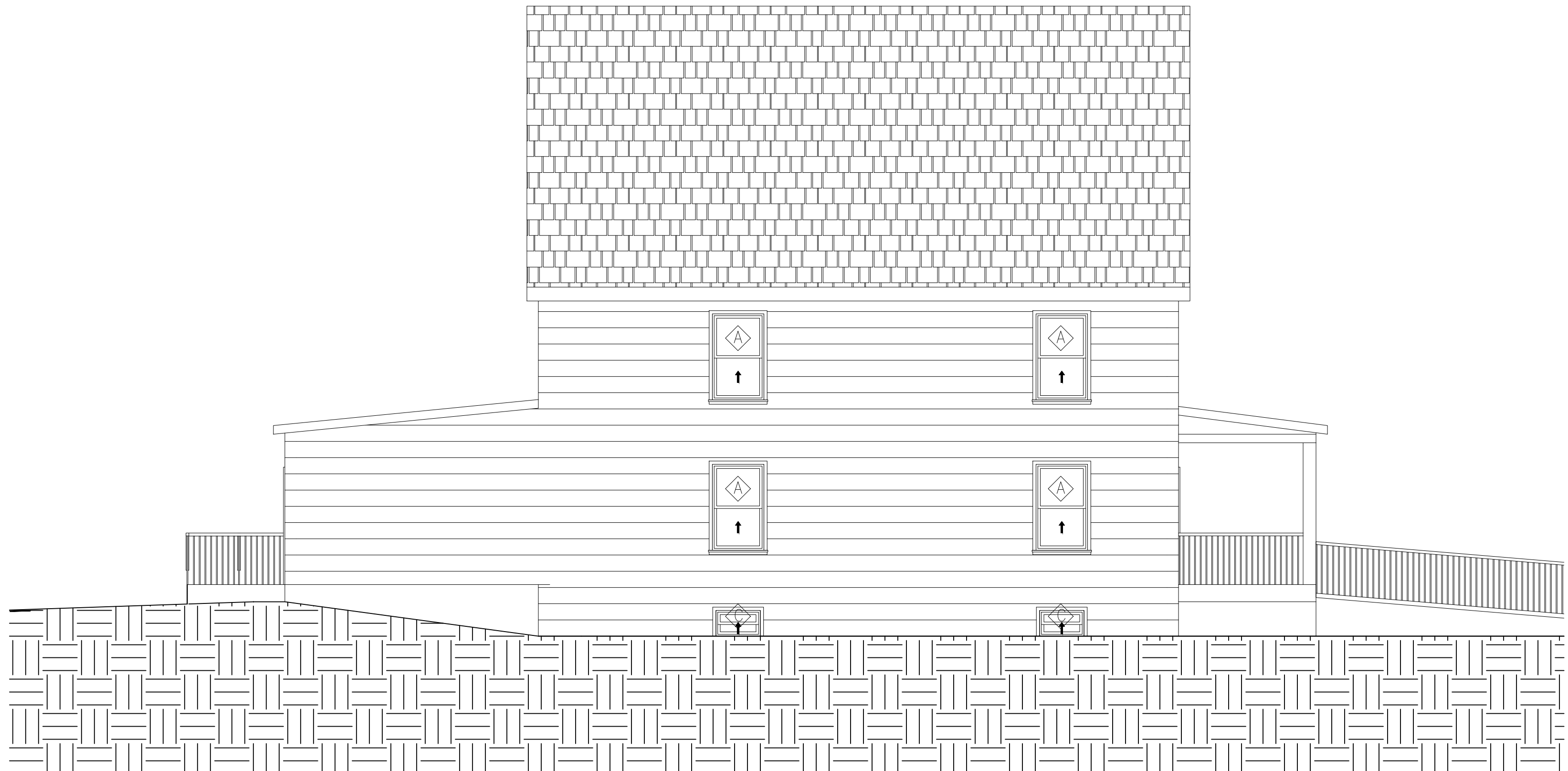
1 PROPOSED SOUTH ELEVATION  
A2.01 SCALE: 3/16" = 1'-0"



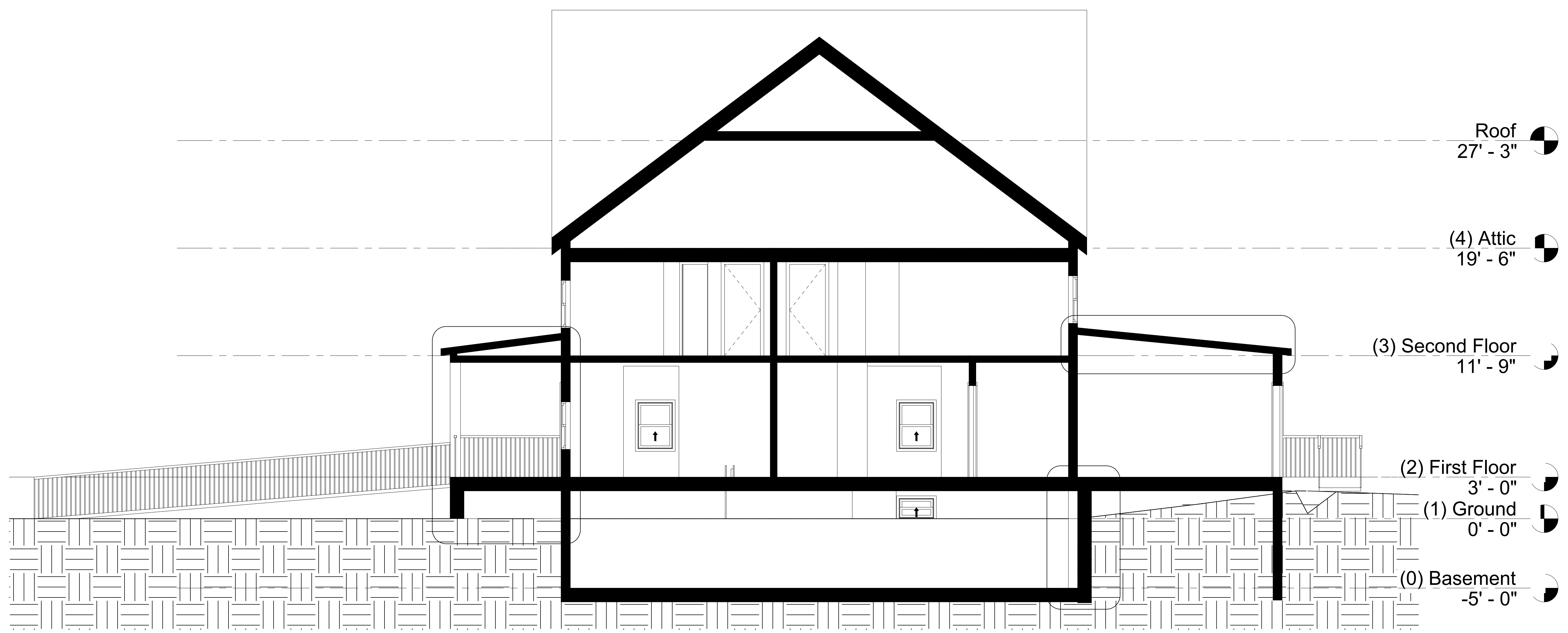
2 PROPOSED EAST ELEVATION  
A2.01 SCALE: 3/16" = 1'-0"



3 PROPOSED NORTH ELEVATION  
A2.01 SCALE: 3/16" = 1'-0"



4 PROPOSED WEST ELEVATION  
A2.01 SCALE: 3/16" = 1'-0"



1 LONGITUDINAL SECTION  
 A3.01 SCALE: 1/4" = 1'-0"

| ISSUE DATES |                 |
|-------------|-----------------|
| 1           | 2.27 ORIG. SUB. |
|             |                 |
|             |                 |

|             |                      |
|-------------|----------------------|
| SCALE:      |                      |
| PROJECT NO: |                      |
| DRAWN BY:   | KMD                  |
| CHECKED BY: | DGG                  |
| CONTENT:    | LONGITUDINAL SECTION |

DRAWING NO.  
**A3.01**  
 SHEET 8 OF 32



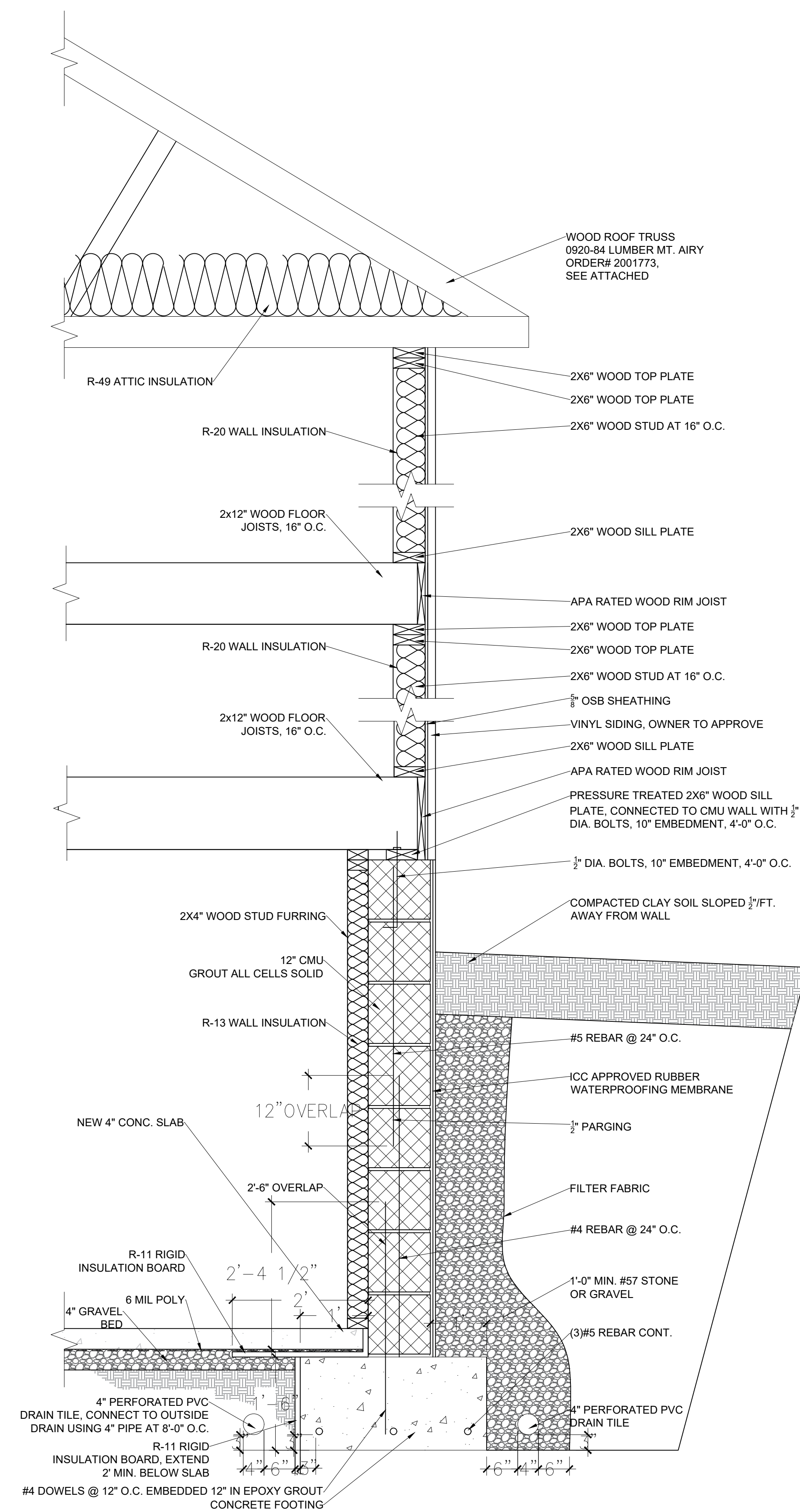
1 TRANSVERSE SECTION  
 A3.02 SCALE: 1/4" = 1'-0"

| ISSUE DATES |                 |
|-------------|-----------------|
| 1           | 2.27 ORIG. SUB. |
|             |                 |
|             |                 |

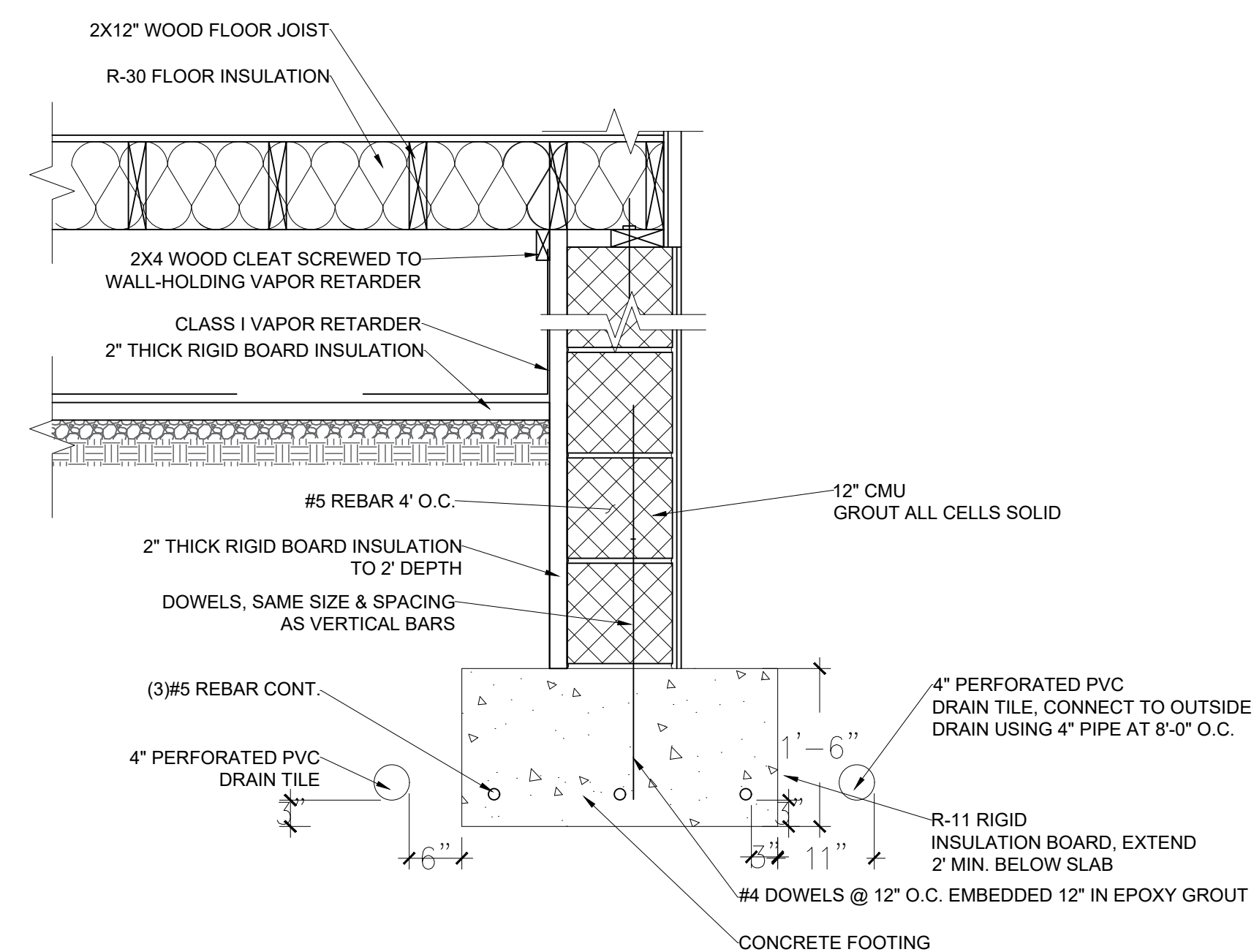
|                    |
|--------------------|
| SCALE:             |
| PROJECT NO:        |
| DRAWN BY: KMD      |
| CHECKED BY: DGG    |
| CONTENT:           |
| TRANSVERSE SECTION |

DRAWING NO.  
**A3.02**  
 SHEET 9 OF 32





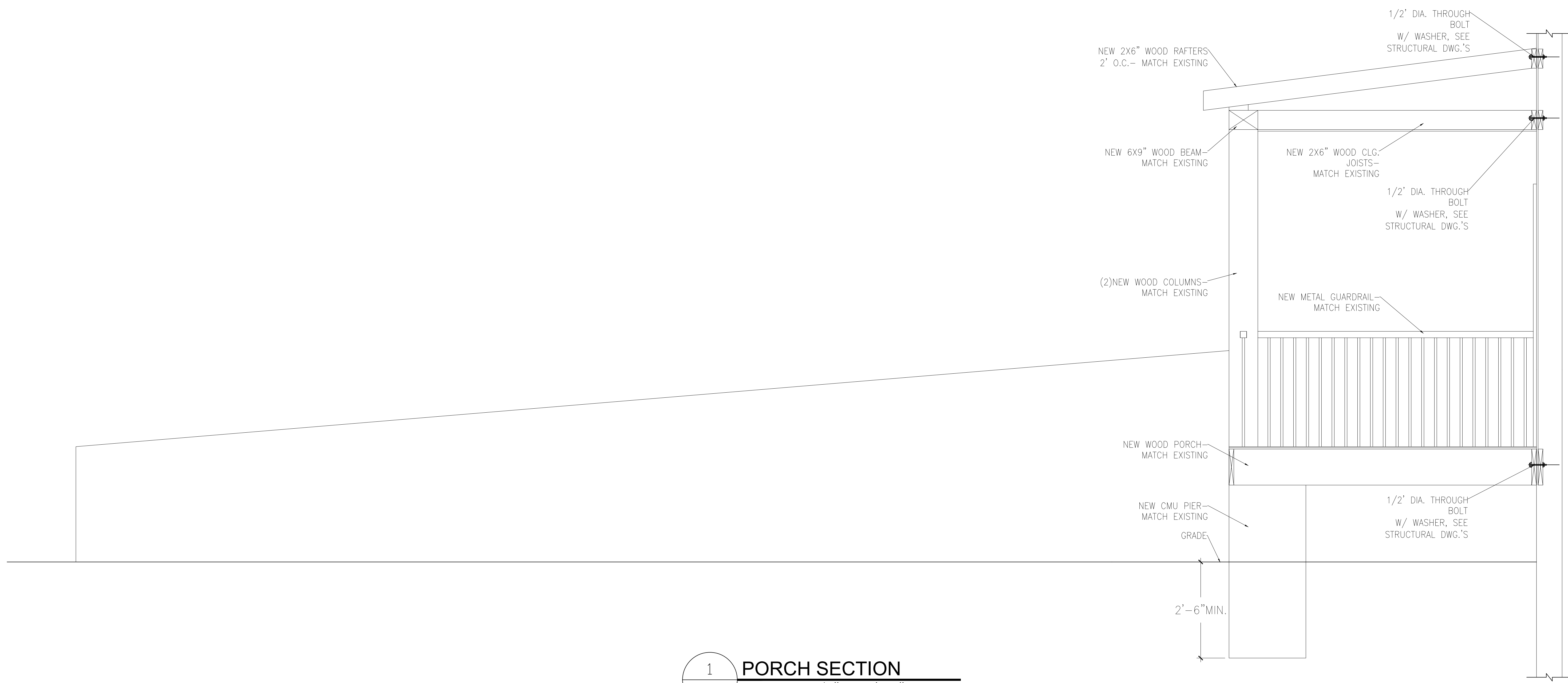
**1** TYPICAL WALL SECTION  
A3.03 SCALE: 3/4" = 1'-0"



**2** TYPICAL WALL SECTION  
A3.03 SCALE: 3/4" = 1'-0"



| ISSUE DATES |                 |
|-------------|-----------------|
| 4           | 2.27 ORIG. SUB. |
|             |                 |
|             |                 |
|             |                 |
|             |                 |
|             |                 |

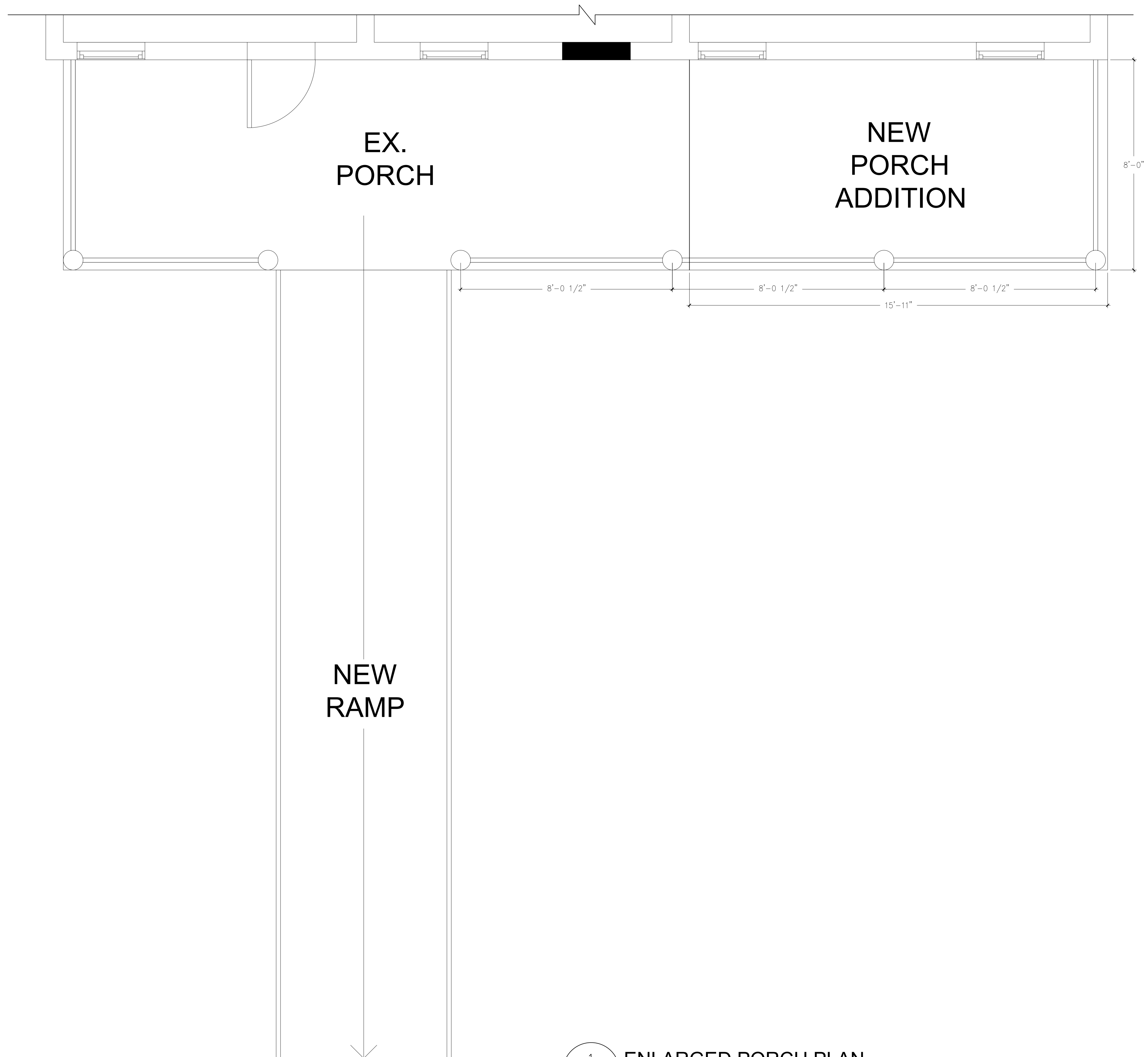


1 PORCH SECTION  
 A3.04 SCALE: 3/4" = 1'-0"

| ISSUE DATES |                 |
|-------------|-----------------|
| 1           | 2.27 ORIG. SUB. |
|             |                 |
|             |                 |
|             |                 |

|             |               |
|-------------|---------------|
| SCALE:      |               |
| PROJECT NO: |               |
| DRAWN BY:   | KMD           |
| CHECKED BY: | DGG           |
| CONTENT     | PORCH SECTION |

DRAWING NO.  
**A3.04**  
 SHEET 11 OF 32



1 ENLARGED PORCH PLAN  
 A4.01 SCALE: 1/2" = 1'-0"



SULTON CAMPBELL BRITT & ASSOCIATES, P.C.  
 Architecture \* Historic Preservation \* Planning \* LEED™ Consulting  
 Founded 1964

1010 EAST 43RD STREET  
 BALTIMORE, MD. 21212  
 COMMERCIAL RENOVATION

| ISSUE DATES |      |            |
|-------------|------|------------|
| 1           | 2.27 | ORIG. SUB. |
|             |      |            |
|             |      |            |

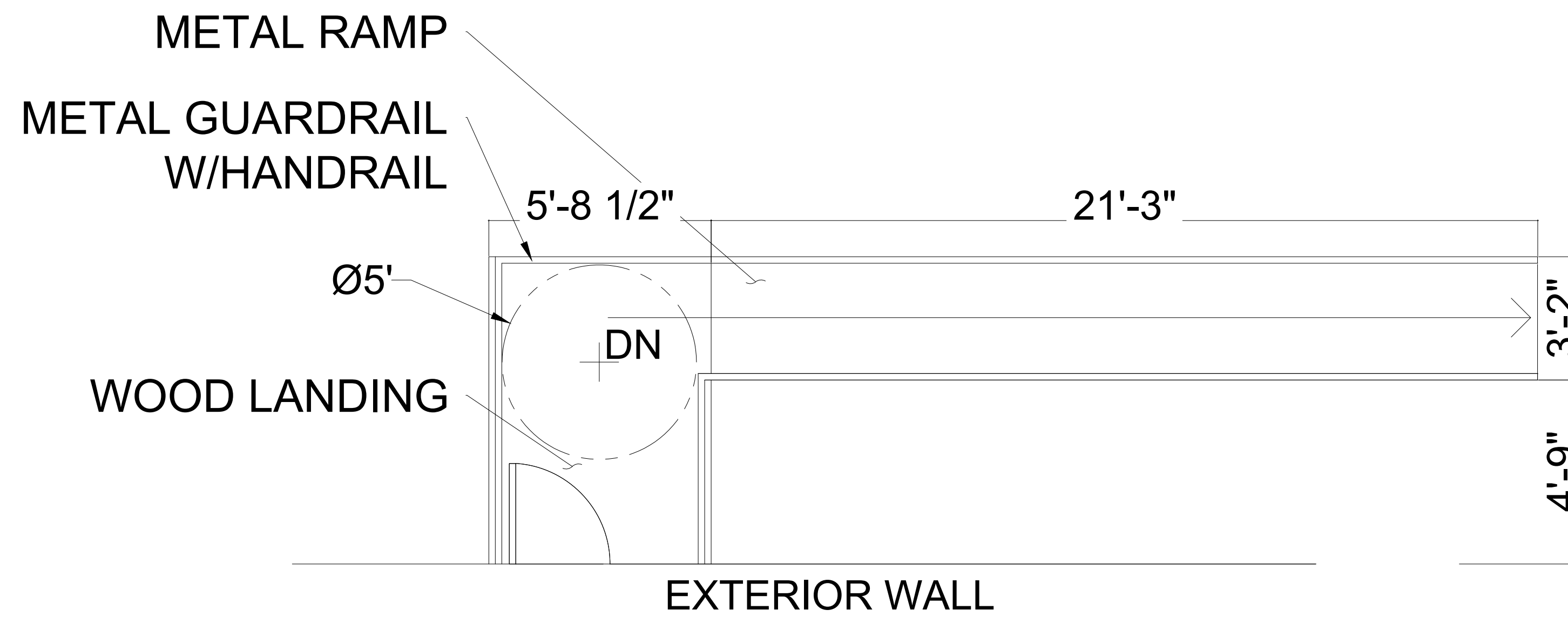
SCALE:  
 PROJECT NO:  
 DRAWN BY: KMD  
 CHECKED BY: DGG

CONTENT  
 ENLARGED PLAN

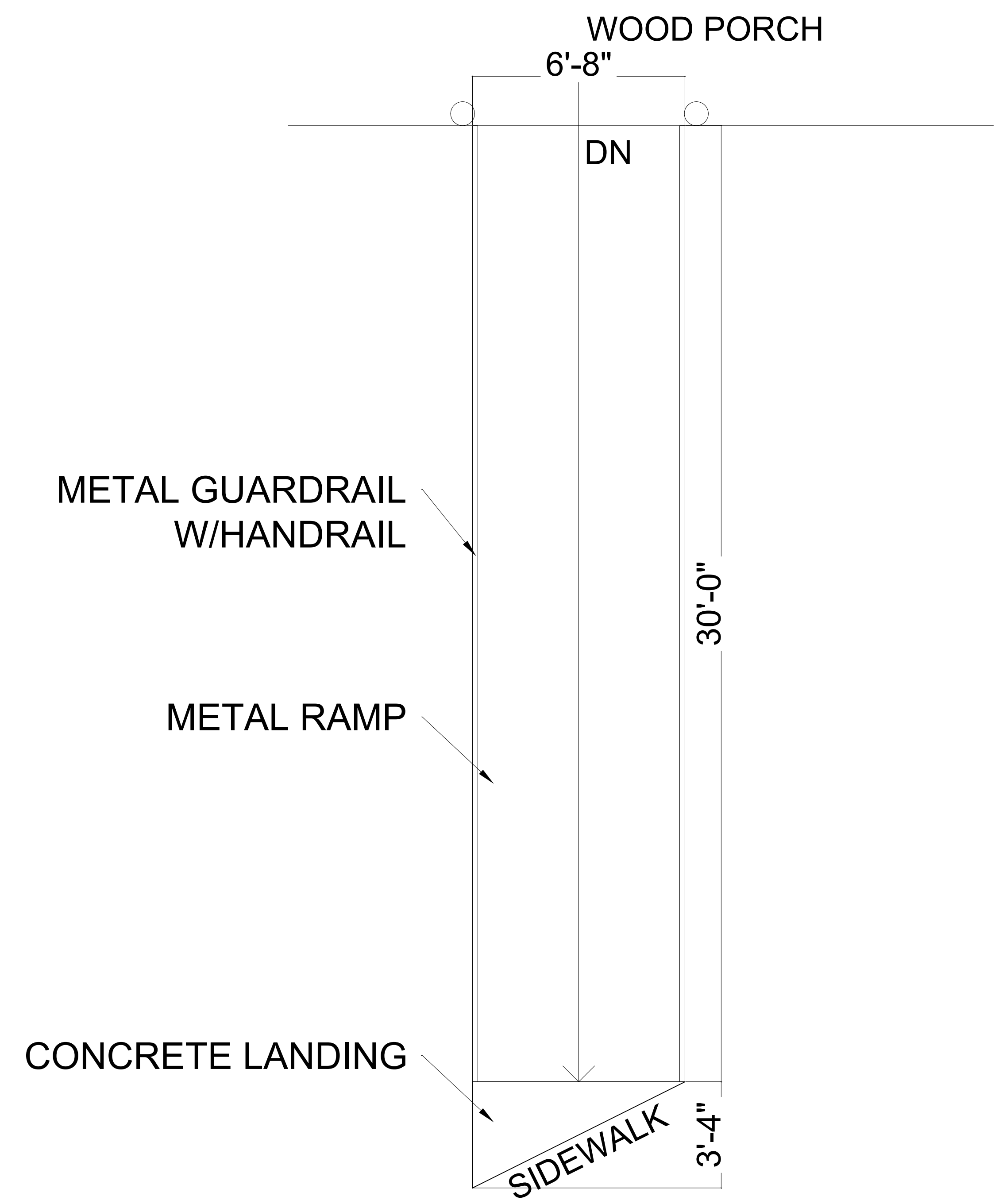
DRAWING NO.

A4.01

SHEET 12 OF 32



1 RAMP 'A' ENLARGED PLAN  
 A4.02 SCALE: 3/8" = 1'-0"



2 RAMP 'B' ENLARGED PLAN  
 A4.02 SCALE: 3/8" = 1'-0"



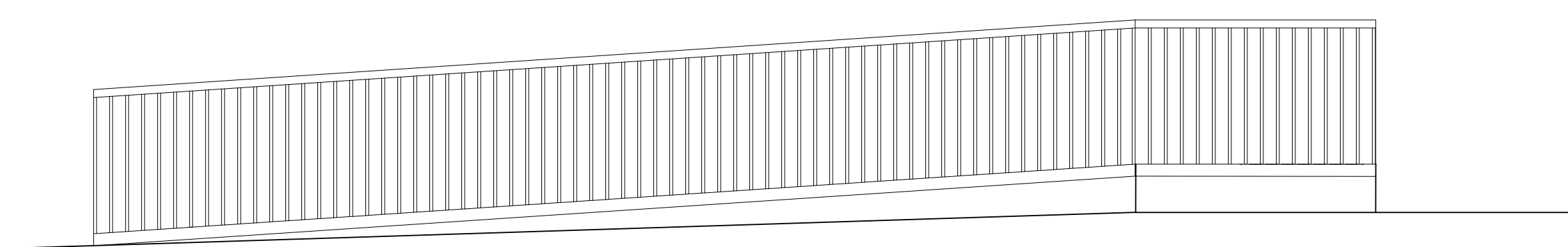
SULTON CAMPBELL BRITT & ASSOCIATES, P.C.  
 Architecture \* Historic Preservation \* Planning \* LEED \* Consulting  
 Founded 1964

1010 EAST 43RD STREET  
 BALTIMORE, MD. 21212  
 COMMERCIAL RENOVATION

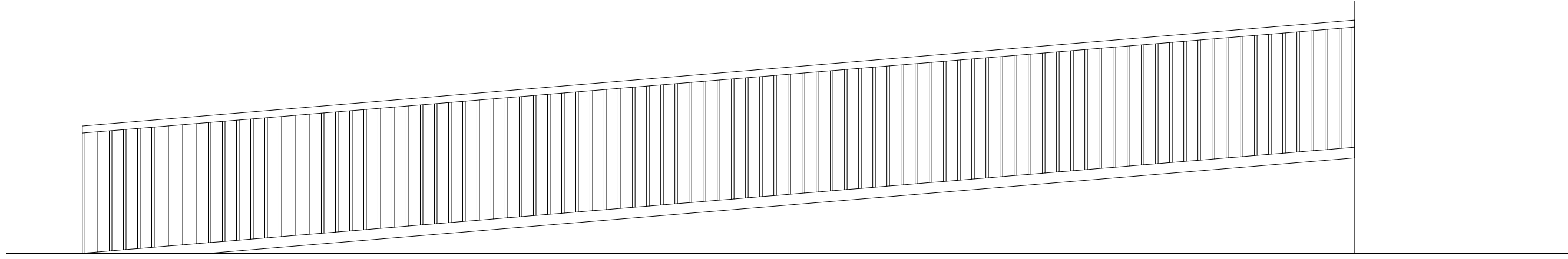
| ISSUE DATES |                 |
|-------------|-----------------|
| 1           | 2.27 ORIG. SUB. |
|             |                 |
|             |                 |
|             |                 |

SCALE:  
 PROJECT NO:  
 DRAWN BY: KMD  
 CHECKED BY: DGG  
 CONTENT  
 ENLARGED PLAN

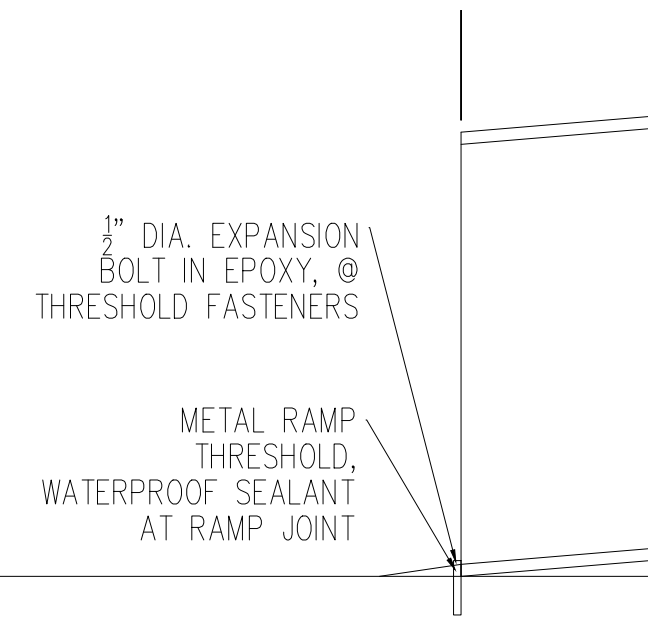
DRAWING NO.  
**A4.02**  
 SHEET 13 OF 32



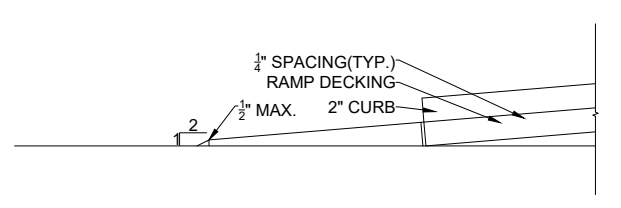
**1 RAMP 'A' ELEVATION**  
 A5.01 SCALE:  $3/8" = 1'-0"$



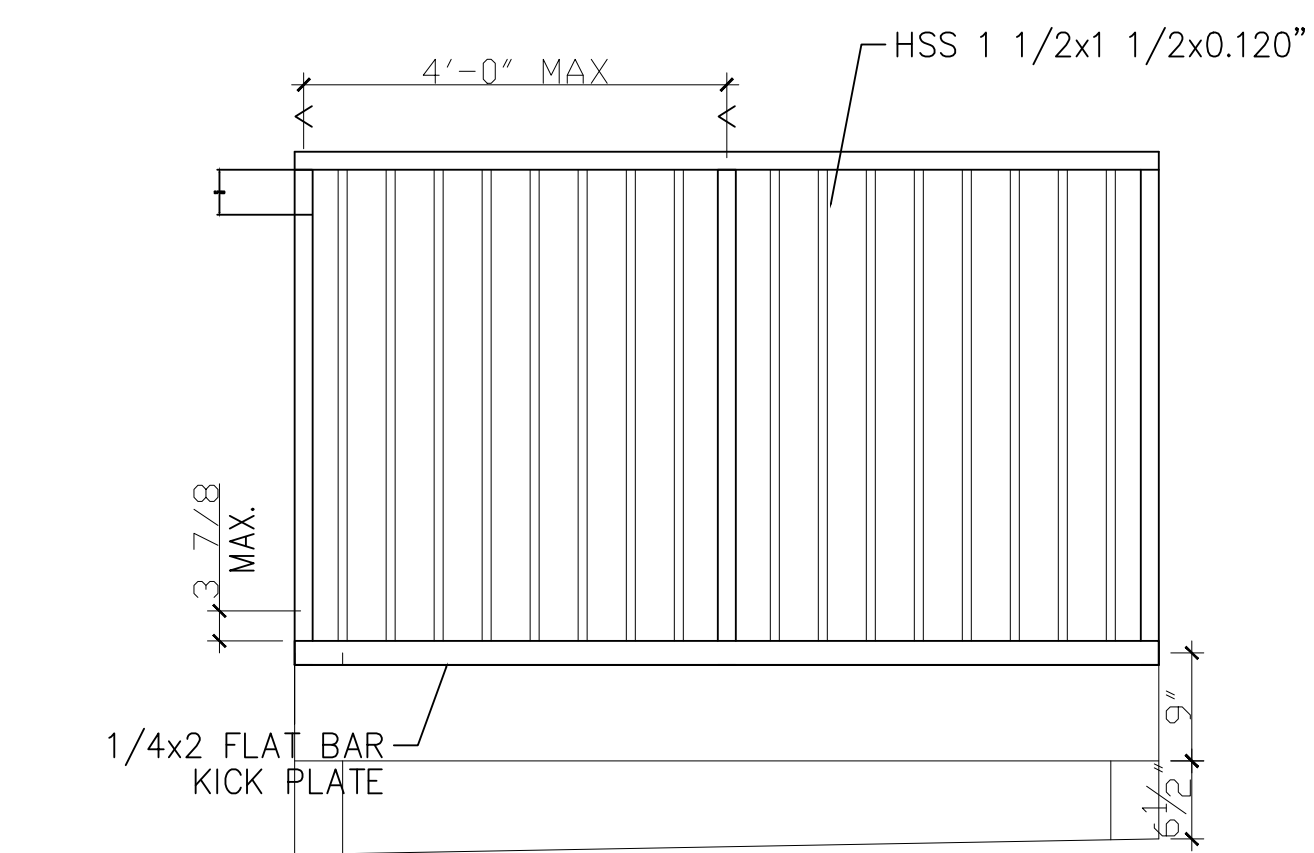
**2 RAMP 'B' ELEVATION**  
 A5.01 SCALE:  $3/8" = 1'-0"$



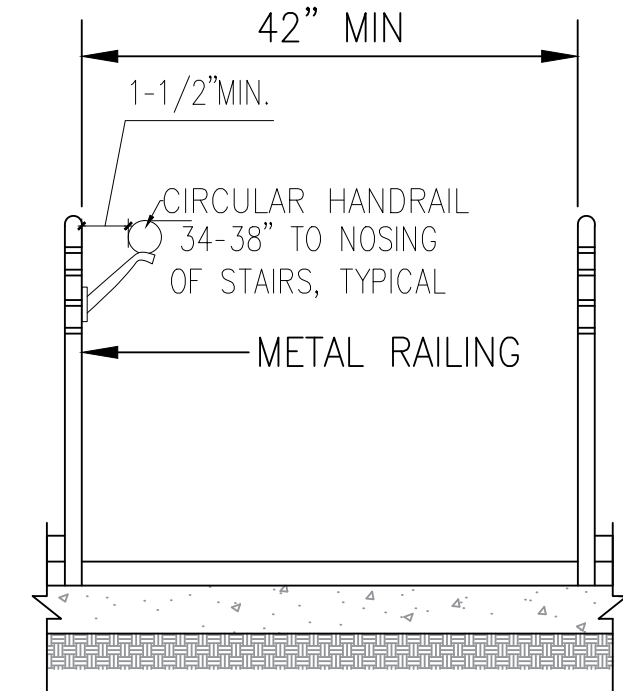
**3 TYPICAL RAMP THRESHOLD**  
 A5.01 SCALE:  $3/4" = 1'-0"$



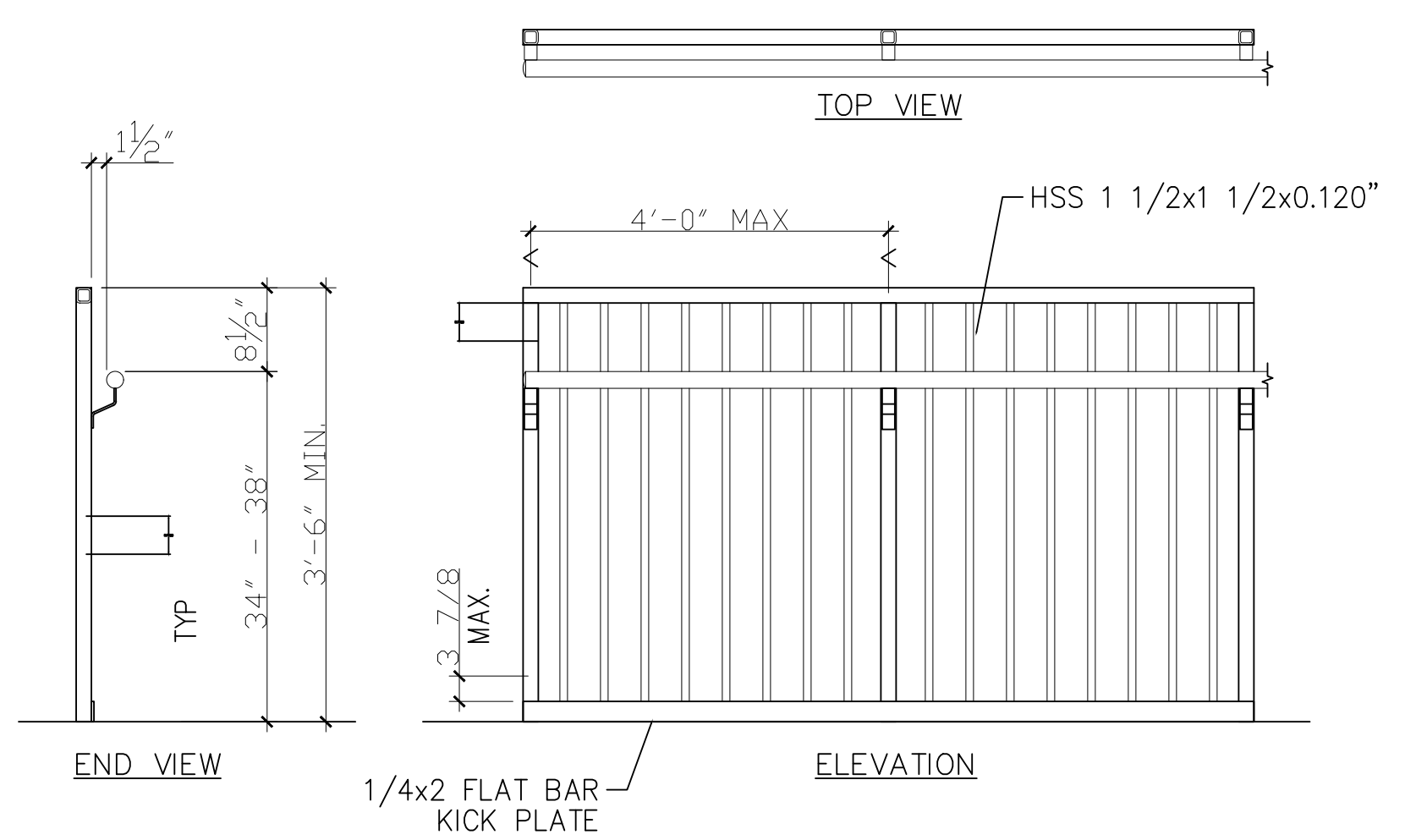
**4 TYPICAL RAMP TRANSITION**  
 A5.01 SCALE:  $3/4" = 1'-0"$



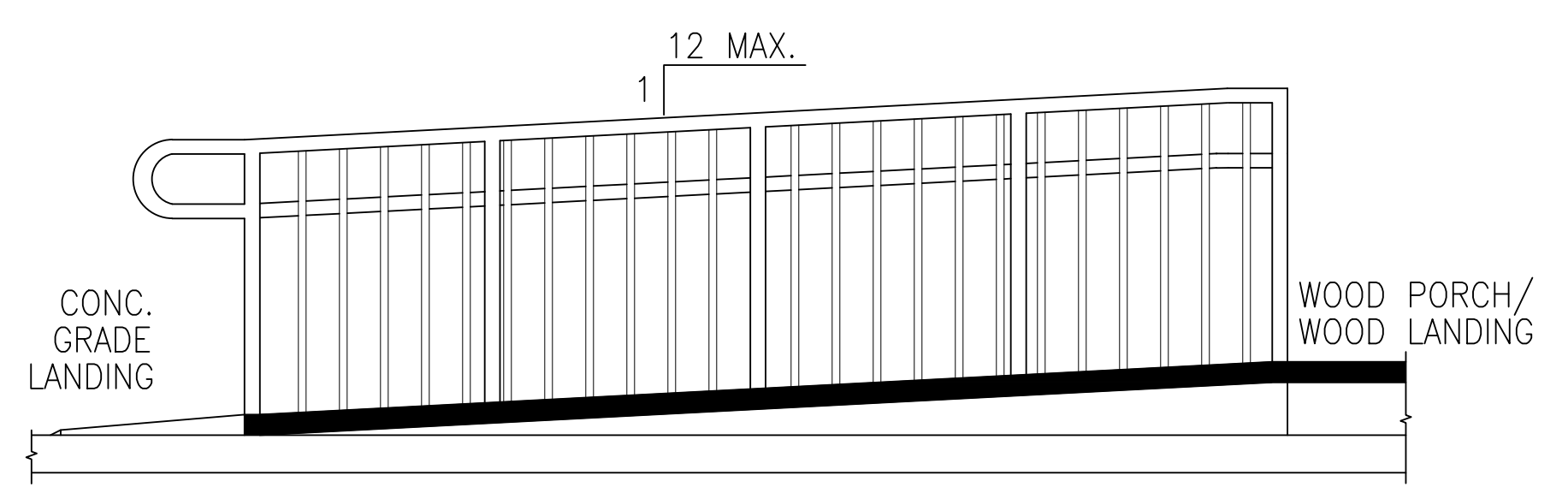
**5 TYPICAL GUARDRAIL ELEV.**  
 A5.01 SCALE:  $3/4" = 1'-0"$



**6 TYPICAL RAMP SECTION**  
 A5.01 SCALE:  $3/4" = 1'-0"$



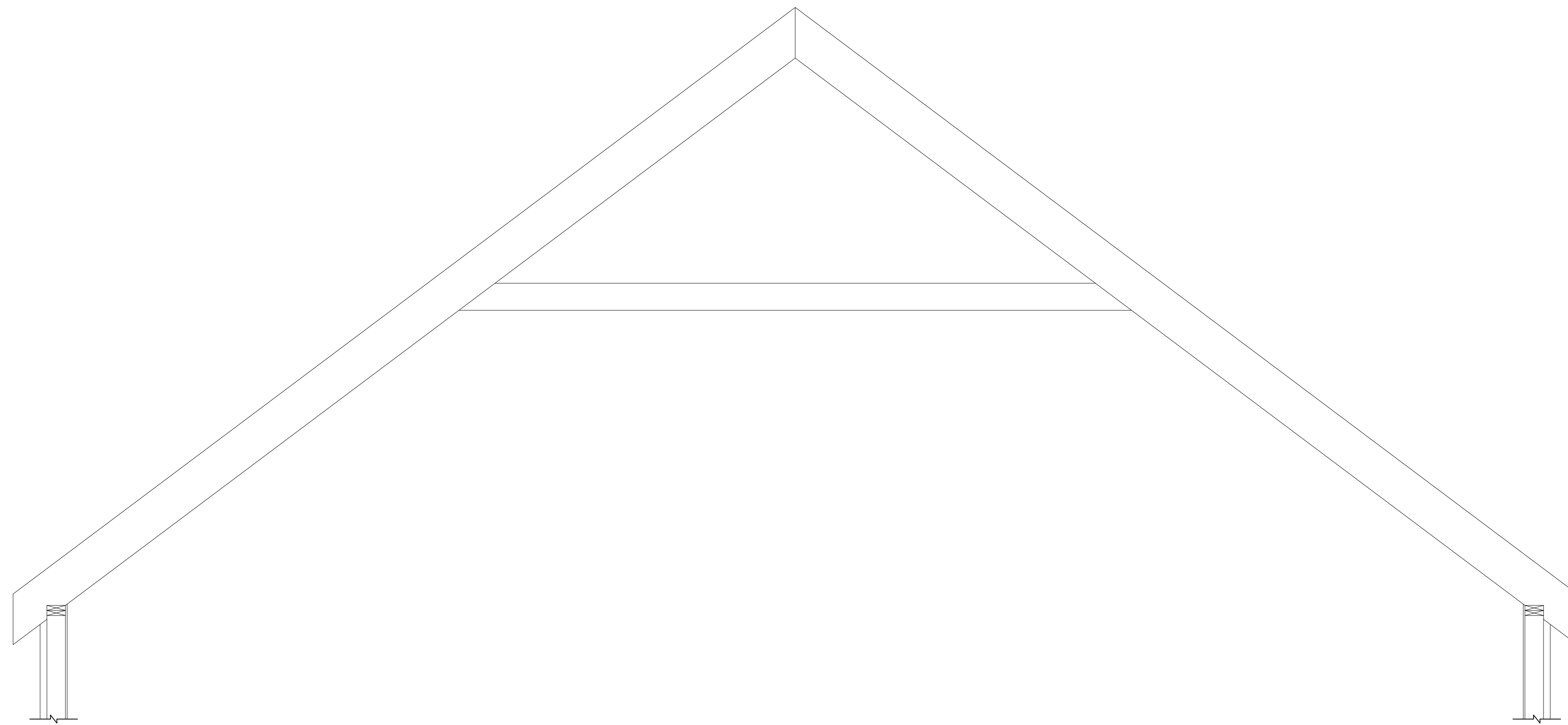
**7 TYPICAL HANDRAIL DETAILS**  
 A5.01 SCALE:  $3/4" = 1'-0"$



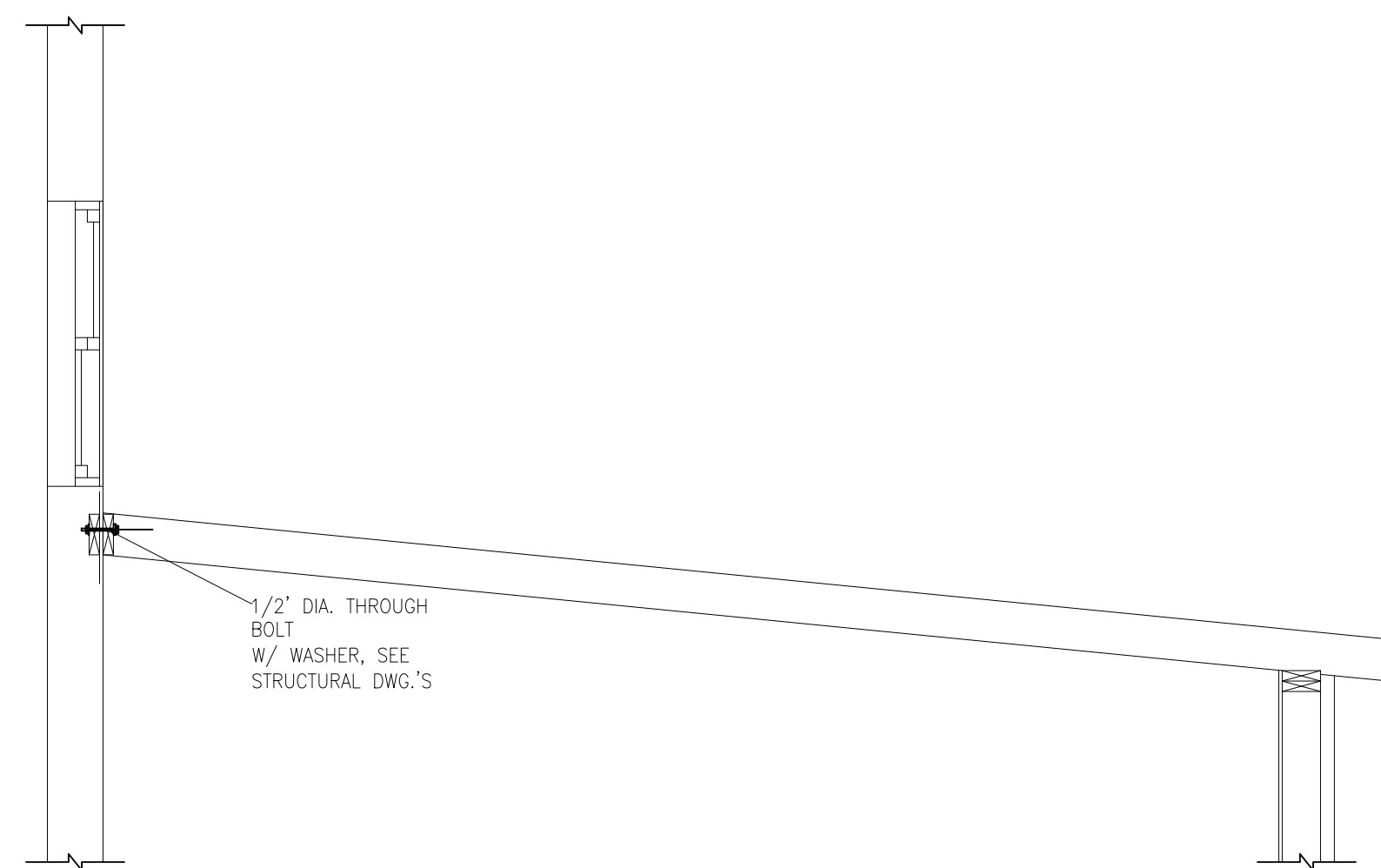
**8 TYPICAL RAMP GUARDRAIL ELEV.**  
 A5.01 SCALE:  $3/4" = 1'-0"$

| ISSUE DATES     |                 |
|-----------------|-----------------|
| 1               | 2.27 ORIG. SUB. |
|                 |                 |
|                 |                 |
|                 |                 |
|                 |                 |
| SCALE:          |                 |
| PROJECT NO.:    |                 |
| DRAWN BY: KMD   |                 |
| CHECKED BY: DGG |                 |
| CONTENT:        |                 |
| RAMP DETAILS    |                 |
| DRAWING NO.:    |                 |
| A5.01           |                 |
| SHEET 14 OF 32  |                 |

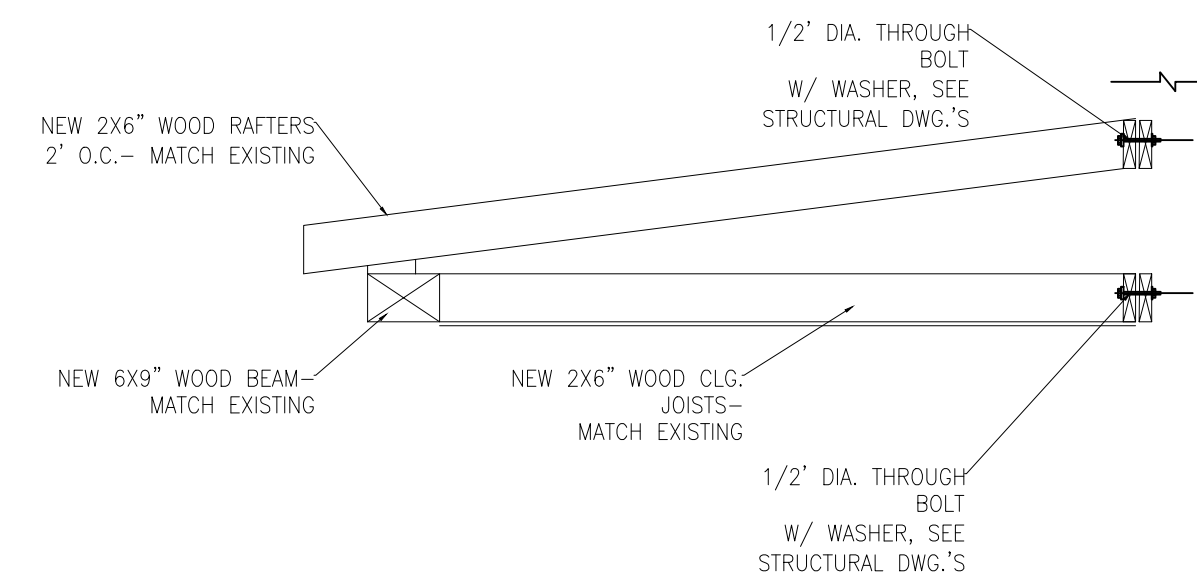
NOTE:  
TRUSS MANUFACTURER SHALL PROVIDE SEALED SHOP DRAWINGS.



1 ROOF TRUSS 'A'  
A5.02 SCALE: 1/2" = 1'-0"



2 ROOF SECTION 'A'  
A5.02 SCALE: 1/2" = 1'-0"



3 ROOF SECTION 'A'  
A5.02 SCALE: 1/2" = 1'-0"

THE TRUSS MANUFACTURER SHALL PROVIDE THE CALCULATIONS & SIZING FOR ALL TRUSS FRAMING MEMBERS, ALL TRUSS CONNECTIONS & CONTINUOUS STABILITY AT RIDGE WITH SUPPORT BLOCKING AS NECESSARY

WOOD TRUSS DESIGN DRAWINGS SHALL BE PROVIDED TO THE BUILDING OFFICIAL & APPROVED PRIOR TO INSTALLATION. TRUSS DESIGN DRAWINGS SHALL BE PROVIDED PRIOR TO OR WITH THE SHIPMENT OF TRUSSES DELIVERED TO THE JOB SITE. TRUSS DESIGN DRAWINGS SHALL INCLUDE, AT MIN., THE FOLLOWING:

1. SLOOPE OR DEPTH, SPAN AND SPACING.
2. LOCATION OF ALL JOINTS.
3. REQUIRED BEARING WIDTH.
4. DESIGN LOADS AS APPLICABLE
  - 4.1 TOP CHORD LIVE LOAD
  - 4.2 TOP CHORD DEAD LOAD
  - 4.3 BOTTOM CHORD LIVE LOAD
  - 4.4 BOTTOM CHORD DEAD LOAD
  - 4.5 CONCENTRATED LOADS & POINTS OF APPLICATION

- 4.6 CONTROLLING WIND & EARTHQUAKE LOADS.
5. ADJUSTMENT TO LUMBER & JOINT CONNECTOR DESIGN VALUES FOR CONDITION OF USE.
6. EACH REACTION FORCE AND DIRECTION.
7. JOINT CONNECTOR TYPE & DESCRIPTION SUCH AS SIZE, THICKNESS OR GAGE & THE DIMENSIONAL LOCATION OF EACH JOINT CONNECTOR EXCEPT WHERE SYMMETRICALLY LOCATED RELATIVE TO THE JOINT INTERFACE.
8. LUMBER SIZE, SPECIES & GRADE FOR EACH MEMBER.

9. CONNECTION REQUIREMENTS FOR:
- 9.1 TRUSS TO GIRDER-TRUSS
  - 9.2 TRUSS PLY TO PLY
  - 9.3 FIELD SPLICES

10. CALCULATED DEFLECTION RATIO AND MAXIMUM DESCRIPTION FOR LIVE & TOTAL LOAD.
11. MAXIMUM AXIAL COMPRESSION FORCES IN THE TRUSS MEMBERS COMPATIBLE TO THE DESIGNED SIZE, CONNECTIONS & ANCHORAGE OF THE PERMANENT CONTINUOUS LATERAL BRACING. FORCES SHALL BE SHOWN ON THE TRUSS DESIGN DRAWING OR ON SUPPLEMENTAL DOCUMENTS.
12. REQUIRED PERMANENT TRUSS MEMBER BRACING LOCATION.

THE DESIGN & MANUFACTURE OF METAL-PLATE-CONNECTED WOOD TRUSSES SHALL COMPLY WITH ANSI/TPI 1. THE TRUSS DESIGN DRAWINGS SHALL BE PREPARED BY A REGISTERED PROFESSIONAL WHERE REQUIRED BY THE STATUTES OF PRINCE GEORGE'S COUNTY.

TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE SUCH AS THE SBCA BUILDING COMPONENT SAFETY INFORMATION (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES.

TRUSS MEMBERS SHALL NOT BE CUT, NOTCHED, DRILLED, SPLICED OR OTHERWISE ALTERED IN ANY WAY WITHOUT THE APPROVAL OF A REGISTERED DESIGN PROFESSIONAL.



SULTON CAMPBELL BRITT & ASSOCIATES, P.C.  
Architecture \* Historic Preservation \* Planning \* LEED \* Consulting  
Founded 1964

1010 EAST 43RD STREET  
BALTIMORE, MD. 21212  
COMMERCIAL RENOVATION

ISSUE DATES

1 2.27 ORIG. SUB.

SCALE:

PROJECT NO:

DRAWN BY: KMD

CHECKED BY: DGG

CONTENT

DETAILS

DRAWING NO.

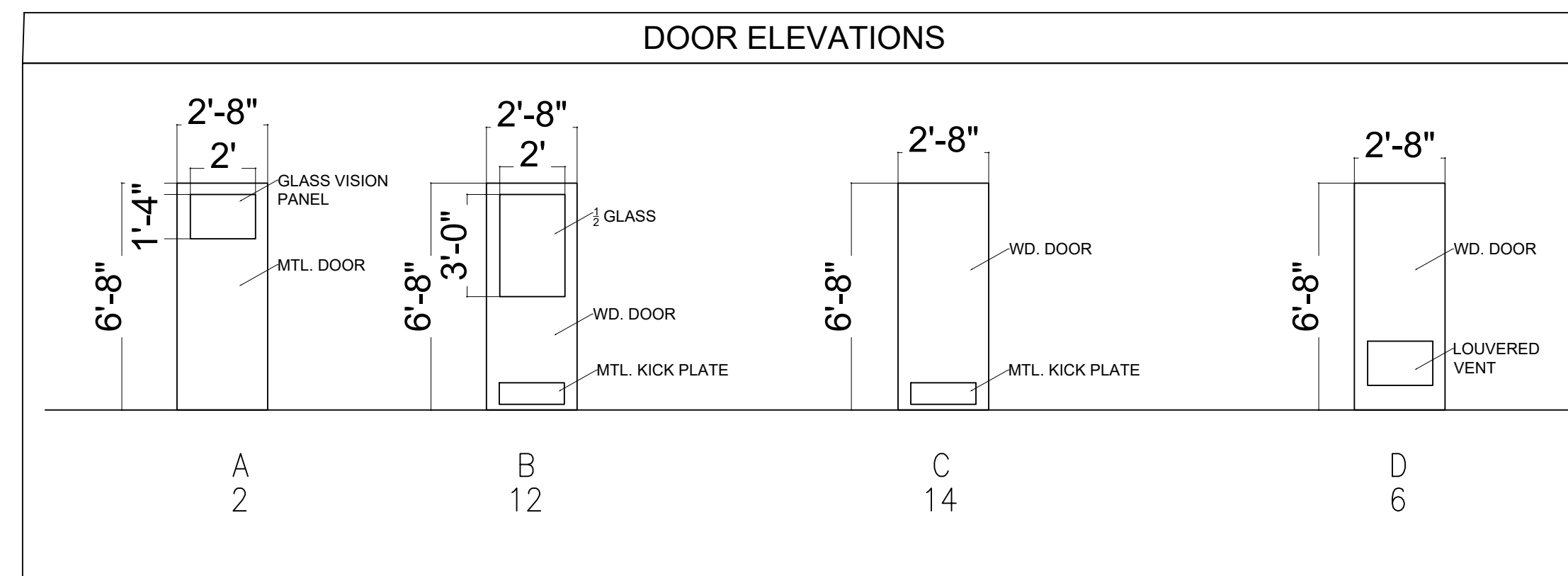
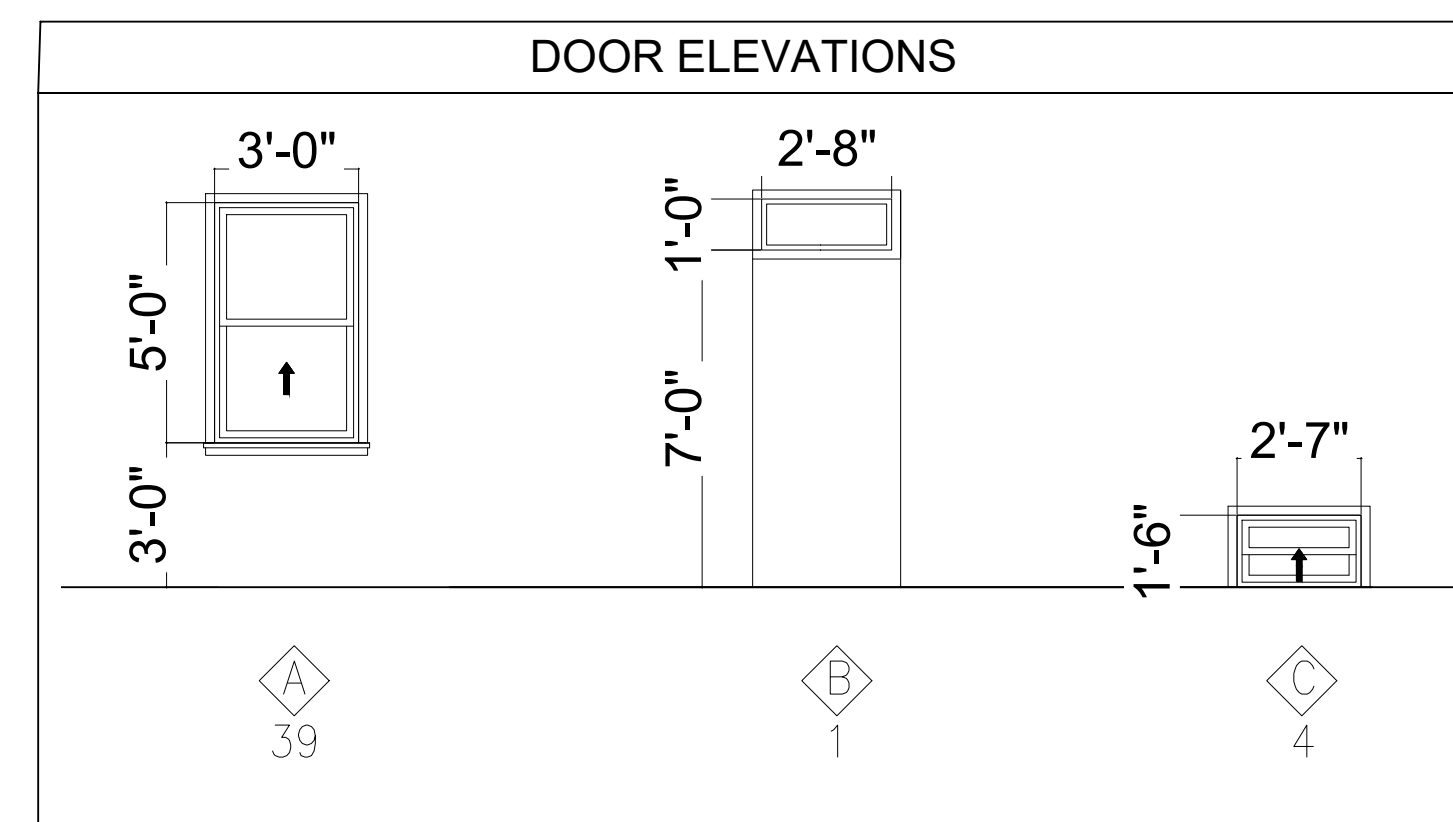
A5.02

SHEET 15 OF 32

| WINDOW SCHEDULE |       |        |             |           |          |           |              |
|-----------------|-------|--------|-------------|-----------|----------|-----------|--------------|
| WINDOW TAG      | WIDTH | HEIGHT | TYPE        | ELEVATION | MATERIAL | GLAZING   | MANUFACTURER |
| A               | 3'-0" | 5'-0"  | DOUBLE HUNG | A         | WOOD     | MATCH EX. | TBD          |
| B               | 2'-8" | 1'-0"  | TRANSOM     | B         | WOOD     | MATCH EX. | TBD          |
| C               | 2'-7" | 1'-6"  | DOUBLE HUNG | C         | WOOD     | MATCH EX. | TBD          |

**IMPORTANT NOTE:**

1. ALL NEW WINDOWS U-VALUE TO BE MINIMUM 0.30 AND GLAZING SHGC TO BE 0.27.
2. ALL NEW WINDOWS SHALL MATCH EXISTING WINDOW IN PROFILE, GRID PATTERN, AND STYLE

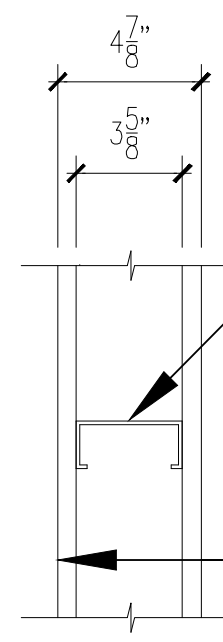


| DOOR SCHEDULE |                 |           |        |           |           |          |          |            |          |        |            |        |             |       |
|---------------|-----------------|-----------|--------|-----------|-----------|----------|----------|------------|----------|--------|------------|--------|-------------|-------|
| DOOR TAG      | USE             | DOOR SIZE |        |           | DOOR TYPE |          |          | FRAME TYPE |          |        | HARDWARE   |        |             |       |
|               |                 | WIDTH     | HEIGHT | THICKNESS | ELEV.     | MATERIAL | FINISH   | ELEV.      | MATERIAL | FINISH | FIRE RATED | FINISH | LATCH/LOCKS | HDW   |
| 001           | STAIRS          | 2'-8"     | 6'-8"  | 0'-1 3/8" | C         | MTL.     | PTD./ST. | F1         | ALUM.    | ALUM.  | N          | ALUM.  | PASSAGE     | SET 3 |
| 002           | STORAGE         | 2'-8"     | 6'-8"  | 0'-1 3/8" | D         | MTL.     | PTD./ST. | F1         | ALUM.    | ALUM.  | N          | ALUM.  | CLASSRM.    | SET 4 |
| 003           | M/E ROOM        | 2'-8"     | 6'-8"  | 0'-1 3/8" | D         | MTL.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | CLASSRM.    | SET 4 |
| 004           | RESTROOM        | 2'-8"     | 6'-8"  | 0'-1 3/8" | C         | MTL.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | PRIVACY     | SET 1 |
| 101           | ENTRY           | 2'-8"     | 6'-8"  | 0'-1 3/4" | A         | GL.      | ALUM.    | F2         | ALUM.    | ALUM.  | N          | ALUM.  | ENTRY       | SET 2 |
| 102           | CLASSRM.        | 2'-8"     | 6'-8"  | 0'-1 3/8" | B         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | PRIVACY     | SET 1 |
| 103           | STAIRS          | 2'-8"     | 6'-8"  | 0'-1 3/8" | C         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | PASSAGE     | SET 3 |
| 104           | CONF. RM.       | 2'-8"     | 6'-8"  | 0'-1 3/8" | B         | W.D.     | PTD./ST. | F1         | ALUM.    | ALUM.  | N          | ALUM.  | CLASSRM.    | SET 4 |
| 105           | RESTROOM        | 2'-8"     | 6'-8"  | 0'-1 3/4" | C         | GL.      | ALUM.    | F1         | ALUM.    | ALUM.  | N          | ALUM.  | PRIVACY     | SET 1 |
| 106           | RESTROOM        | 2'-8"     | 6'-8"  | 0'-1 3/4" | C         | GL.      | ALUM.    | F2         | ALUM.    | ALUM.  | N          | ALUM.  | PRIVACY     | SET 1 |
| 107           | RESTROOM        | 2'-8"     | 6'-8"  | 0'-1 3/8" | C         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | PRIVACY     | SET 1 |
| 108           | THERAPEUTIC RM. | 2'-8"     | 6'-8"  | 0'-1 3/8" | B         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | CLASSRM.    | SET 4 |
| 109           | RESTROOM        | 2'-8"     | 6'-8"  | 0'-1 3/8" | C         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | PRIVACY     | SET 1 |
| 110           | CLASSRM.        | 2'-8"     | 6'-8"  | 0'-1 3/8" | B         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | CLASSRM.    | SET 4 |
| 111           | ENTRY           | 2'-8"     | 6'-8"  | 0'-1 3/4" | A         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | ENTRY       | SET 2 |
| 201           | STAIRS          | 2'-8"     | 6'-8"  | 0'-1 3/8" | C         | W.D.     | PTD./ST. | F1         | ALUM.    | ALUM.  | N          | ALUM.  | PASSAGE     | SET 3 |
| 202           | CLOSET          | 2'-8"     | 6'-8"  | 0'-1 3/8" | D         | W.D.     | PTD./ST. | F1         | ALUM.    | ALUM.  | N          | ALUM.  | PASSAGE     | SET 3 |
| 203           | RESTROOM        | 2'-8"     | 6'-8"  | 0'-1 3/8" | C         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | PRIVACY     | SET 1 |
| 204           | CLASSRM.        | 2'-8"     | 6'-8"  | 0'-1 3/8" | B         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | CLASSRM.    | SET 4 |
| 205           | RESTROOM        | 2'-8"     | 6'-8"  | 0'-1 3/8" | C         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | PRIVACY     | SET 1 |
| 206           | CLASSRM.        | 2'-8"     | 6'-8"  | 0'-1 3/8" | B         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | CLASSRM.    | SET 4 |
| 207           | CLASSRM.        | 2'-8"     | 6'-8"  | 0'-1 3/8" | B         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | CLASSRM.    | SET 4 |
| 208           | RESTROOM        | 2'-8"     | 6'-8"  | 0'-1 3/8" | C         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | PRIVACY     | SET 1 |
| 209           | RESTROOM        | 2'-8"     | 6'-8"  | 0'-1 3/8" | C         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | PRIVACY     | SET 1 |
| 210           | THERAPEUTIC RM. | 2'-8"     | 6'-8"  | 0'-1 3/8" | B         | W.D.     | PTD./ST. | F3         | ALUM.    | ALUM.  | N          | ALUM.  | CLASSRM.    | SET 4 |
| 301           | STAIRS          | 2'-8"     | 6'-8"  | 0'-1 3/8" | C         | GL.      | PTD./ST. | F1         | ALUM.    | ALUM.  | N          | ALUM.  | ENTRY       | SET 2 |
| 302           | CLOSET          | 2'-8"     | 6'-8"  | 0'-1 3/8" | D         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | PASSAGE     | SET 3 |
| 303           | KITCHENETTE     | 2'-8"     | 6'-8"  | 0'-1 3/8" | B         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | PASSAGE     | SET 3 |
| 304           | CLOSET          | 2'-8"     | 6'-8"  | 0'-1 3/8" | D         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | PASSAGE     | SET 3 |
| 305           | OFFICE          | 2'-8"     | 6'-8"  | 0'-1 3/8" | B         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | ENTRY       | SET 2 |
| 306           | OFFICE          | 2'-8"     | 6'-8"  | 0'-1 3/8" | B         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | PASSAGE     | SET 3 |
| 307           | CLOSET          | 2'-8"     | 6'-8"  | 0'-1 3/8" | D         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | PASSAGE     | SET 3 |
| 308           | OFFICE          | 2'-8"     | 6'-8"  | 0'-1 3/8" | B         | W.D.     | PTD./ST. | F2         | ALUM.    | ALUM.  | N          | ALUM.  | ENTRY       | SET 2 |
| 309           | RESTROOM        | 2'-8"     | 6'-8"  | 0'-1 3/8" | C         | W.D.     | PTD./ST. | F3         | ALUM.    | ALUM.  | N          | ALUM.  | PASSAGE     | SET 3 |

**IMPORTANT NOTE:**

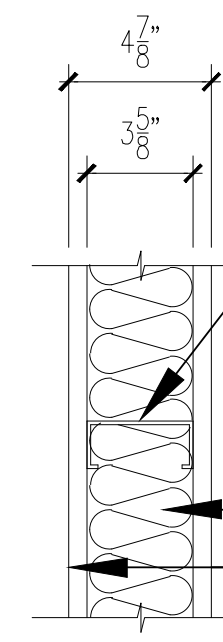
1. ALL DIMENSIONS ARE ONLY FOR INFORMATION;
2. PROVIDE & INSTALL SECURITY GRILLES FOR ENTRY DOORS.
3. EXTERIOR DOORS U-VALUE TO BE MINIMUM 0.30 AND TRANSOM GLAZING SHGC TO BE 0.27.
4. EXISTING TO REMAIN MECHANICAL ROOM AND RESTROOM DOORS ORBITAL KNOBS ARE TO BE REPLACED WITH LEVER SETS.
5. STAIRWELL DOORS SHALL HAVE CRASH BARS INSTALLED ON THE STAIRWELL SIDE OF THE DOOR.
6. \* EQUALS SECURITY DOOR.





3 5/8" X 20 GA METAL TRACK & STUDS. SEE STRUCTURAL DWGS FOR O.C. DIMENSION. ALTERNATE: WOOD STUDS.  
5/8" GYPSUM BOARD—BOTH SIDES TO ABOVE CEILING HT., PREP, PAINT, MATCH EXISTING.

A



3 5/8" X 20 GA METAL TRACK & STUDS. SEE STRUCTURAL DWGS FOR O.C. DIMENSION. ALTERNATE: WOOD STUDS.  
4" BATT INSULATION  
5/8" GYPSUM BOARD—BOTH SIDES TO ABOVE CEILING HT., PREP, PAINT, MATCH EXISTING.

B

WALL PARTITION TYPES

SCALE 1 1/2" = 1'-0"

FINISH SCHEDULE

| FLOOR          | ROOM NAME           | FLOOR    |      | BASE  |       | WALLS |       | CEILING |       |
|----------------|---------------------|----------|------|-------|-------|-------|-------|---------|-------|
|                |                     | MAT'L    | FIN. | MAT'L | PAINT | MAT'L | PAINT | MAT'L   | PAINT |
| BASEMENT FLOOR | INDOOR PLAY AREA    | CONC.    | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
|                | STORAGE             | CONC.    | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
|                | RESTROOM            | CONC.    | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
|                | STAIRS              | CONC.    | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
|                | M/E ROOM            | CONC.    | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
| FIRST FLOOR    | LOBBY               | 3/4" OSB | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
|                | HALL                | 3/4" OSB | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
|                | CLASSROOM           | 3/4" OSB | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
|                | RESTROOM            | 3/4" OSB | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
|                | THERAPEUTIC ROOM    | 3/4" OSB | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
|                | CONF. ROOM          | 3/4" OSB | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
| SECOND FLOOR   | HEADSTART CLASSROOM | 3/4" OSB | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
|                | HALL                | 3/4" OSB | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
|                | CLOSET              | 3/4" OSB | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
|                | RESTROOM            | 3/4" OSB | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
|                | THERAPEUTIC ROOM    | 3/4" OSB | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
| THIRD FLOOR    | KITCHENETTE         | 3/4" OSB | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
|                | HALL                | 3/4" OSB | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
|                | CLOSET              | 3/4" OSB | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
|                | RESTROOM            | 3/4" OSB | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |
|                | OFFICE              | 3/4" OSB | LVT  | VINYL | N/A   | GWB   | PAINT | GWB     | N/A   |

NOTE:

1. CONTRACTOR SELECTIONS SHALL BE VERIFIED VIA SUBMITTAL PROCESS
2. PAINT COLORS TO BE DETERMINED AND SELECTED BY OWNER



| ISSUE DATES |                 |
|-------------|-----------------|
| 1           | 2.27 ORIG. SUB. |

|                          |
|--------------------------|
| SCALE:                   |
| PROJECT NO:              |
| DRAWN BY: KMD            |
| CHECKED BY: DGG          |
| CONTENT: FINISH SCHEDULE |



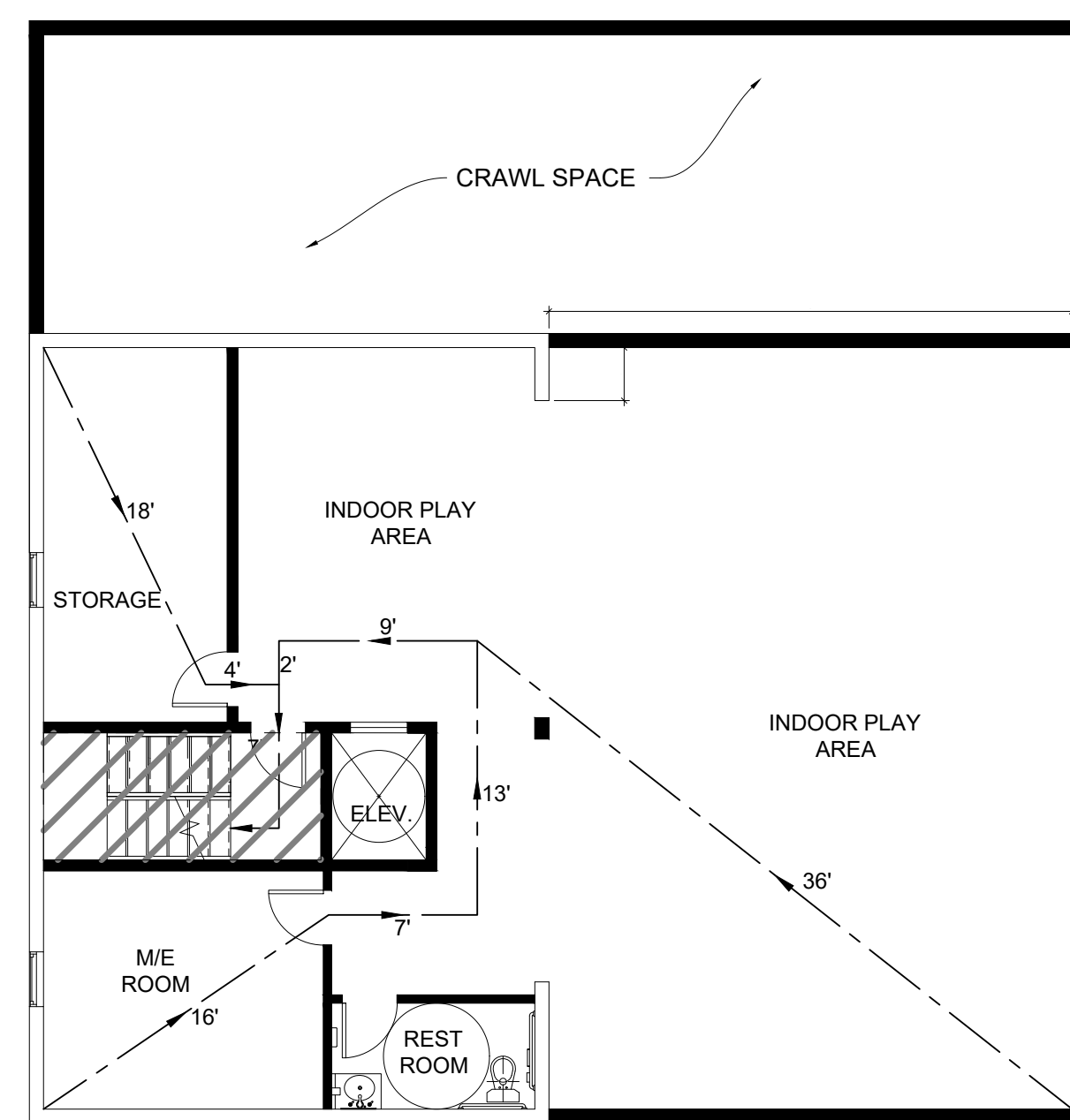


| ISSUE DATES |                 |
|-------------|-----------------|
| 1           | 2.27 ORIG. SUB. |
|             |                 |
|             |                 |
|             |                 |

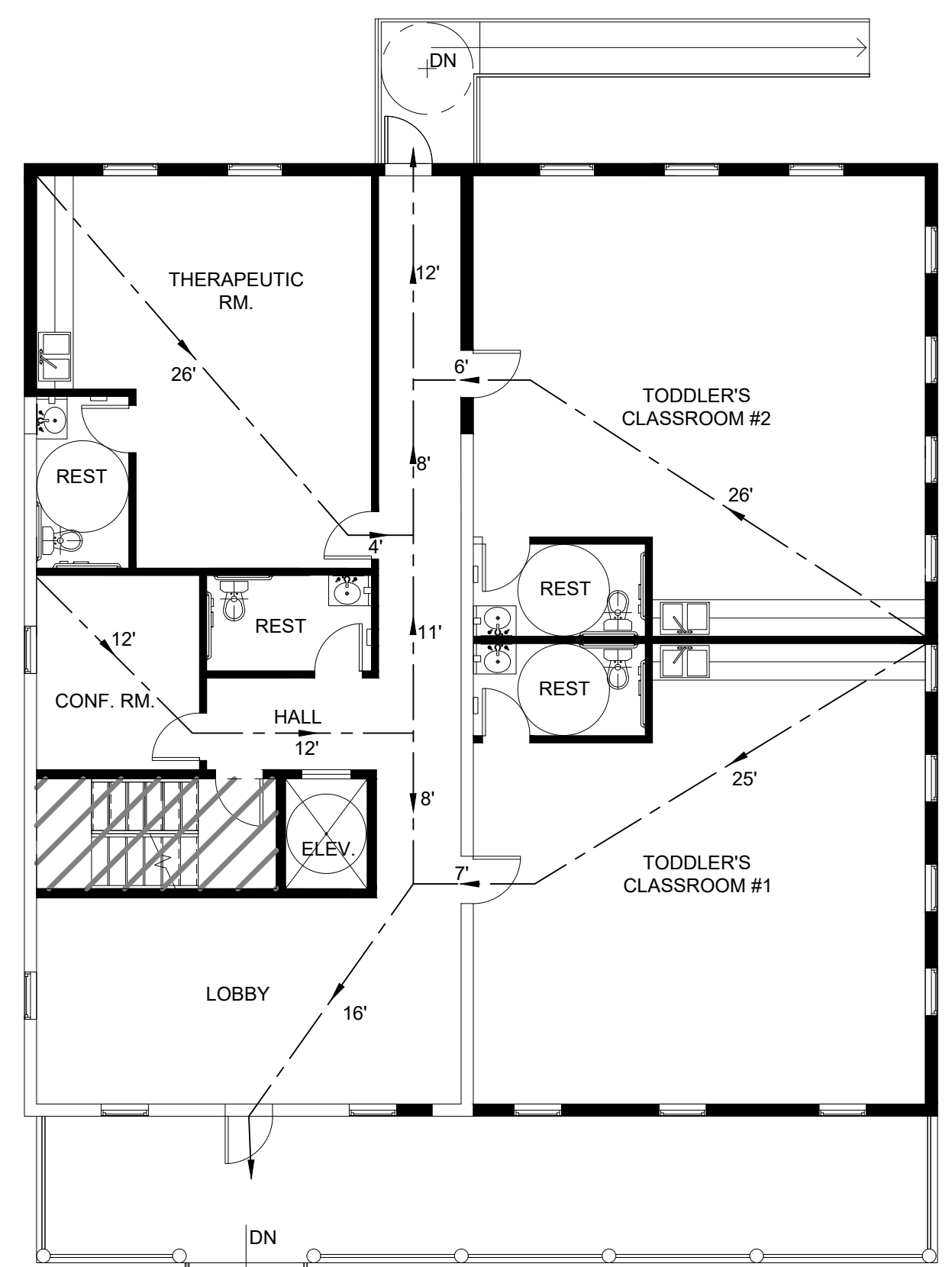
|              |              |
|--------------|--------------|
| SCALE:       |              |
| PROJECT NO.: |              |
| DRAWN BY:    | KMD          |
| CHECKED BY:  | DGG          |
| CONTENT:     | EGRESS PLANS |
| DRAWING NO.: |              |



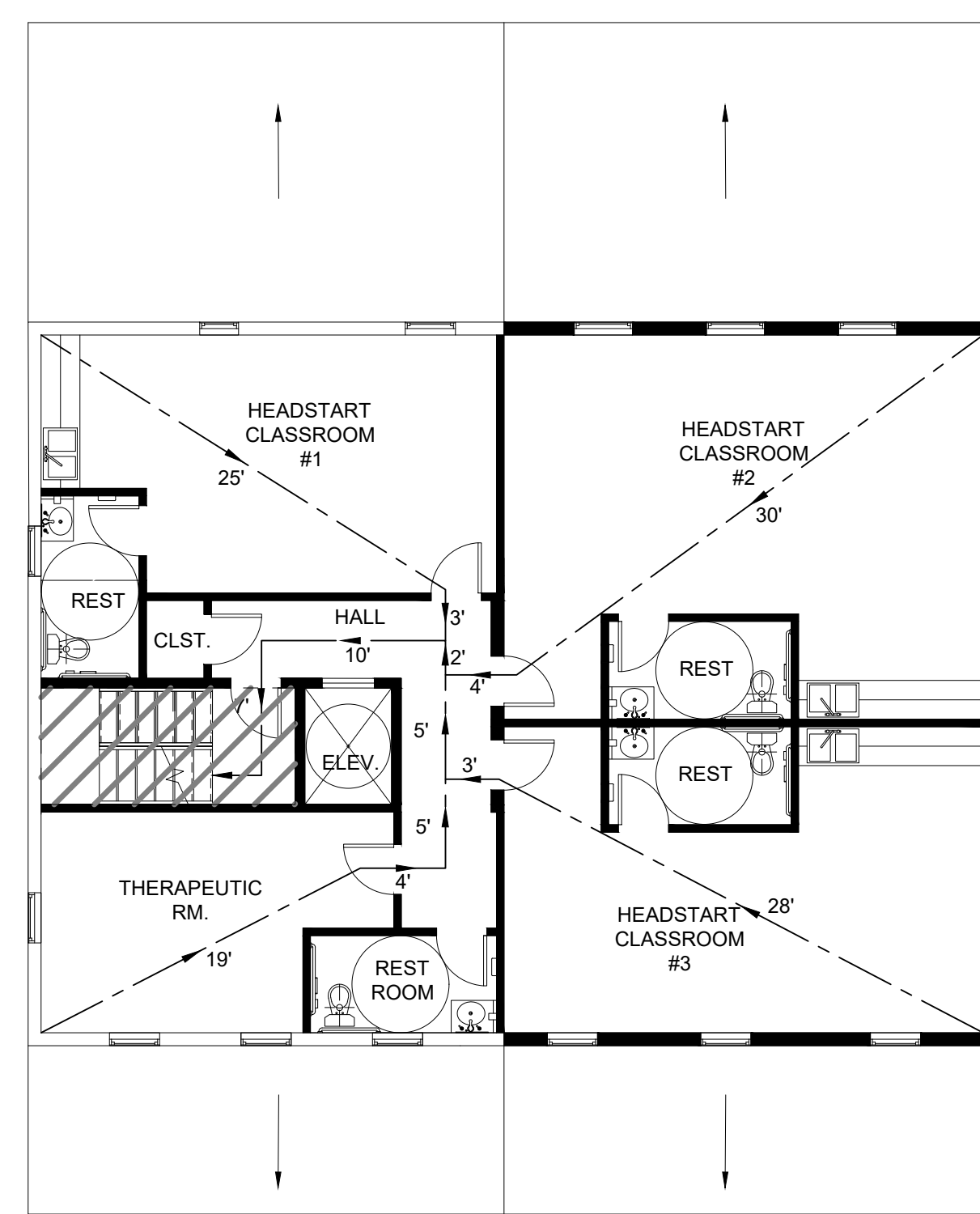
1 HR. VERTICAL SEPARATION



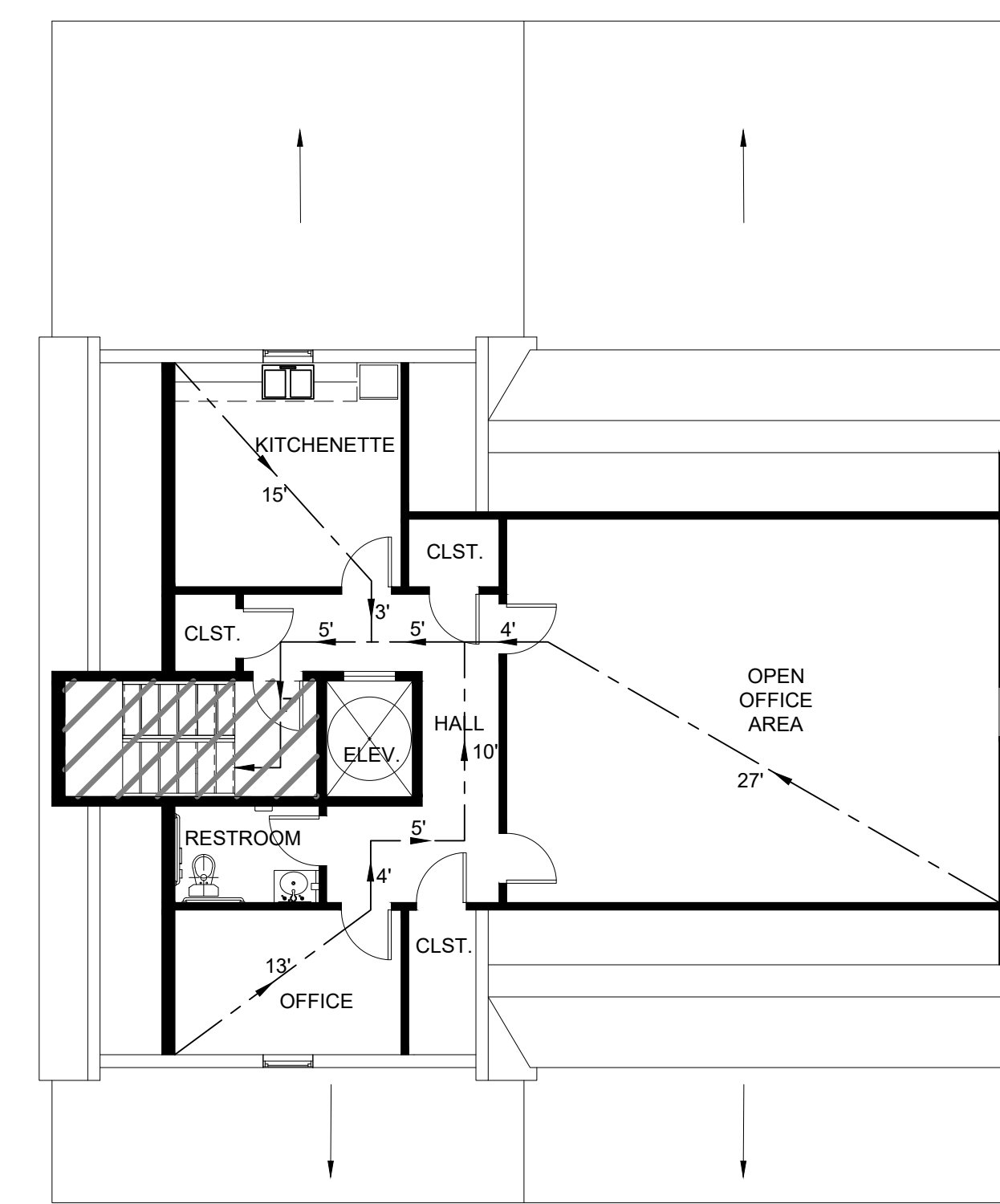
1 BASEMENT EGRESS PLAN  
 A7.01 SCALE: 1/8" = 1'-0"



2 FIRST FLOOR EGRESS PLAN  
 A7.01 SCALE: 1/8" = 1'-0"



3 SECOND FLOOR EGRESS PLAN  
 A7.01 SCALE: 1/8" = 1'-0"



4 THIRD FLOOR EGRESS PLAN  
 A7.01 SCALE: 1/8" = 1'-0"

# MECHANICAL SPECIFICATIONS

## 1. SCOPE

THE WORK COVERED IN THIS SECTION OF THE SPECIFICATIONS CONSISTS OF FURNISHING ALL LABOR, EQUIPMENT, AND MATERIAL AND IN PERFORMING ALL OPERATIONS IN CONNECTION WITH THE INSTALLATION OF THE COMPLETE AIR CONDITIONING AND HEATING SYSTEM. ALL WORK WILL BE COMPLETE AND IN ACCORDANCE WITH THIS SECTION OF THE SPECIFICATIONS AND APPLICABLE DRAWINGS, AND WILL BE SUBJECT TO THE TERMS AND CONDITIONS OF THE CONTRACT.

## 2. SPECIFICATIONS AND DRAWINGS

THE MECHANICAL DRAWINGS INDICATE THE GENERAL ARRANGEMENT OF THE AIR CONDITIONING AND HEATING SYSTEM. THESE SPECIFICATIONS AND DRAWINGS SHALL SUPPLEMENT EACH OTHER. EQUIPMENT, DUCTWORK AND PIPING SHALL FIT INTO THE SPACE ALLOCATED AND SHALL PROVIDE ALL NECESSARY CLEARANCE FOR SERVICING AND MAINTENANCE.

## 3. CODES AND STANDARDS

THE WORK SHALL COMPLY WITH THE LATEST APPLICABLE REQUIREMENTS FOR THE NFPA AND ALL LOCAL CODES GOVERNING THIS INSTALLATION AS A MINIMUM STANDARD UNLESS SPECIFICATIONS LISTED HEREIN OR SHOWN ON THE PLANS REQUIRE A HIGHER MINIMUM STANDARD.

## 4. PERMITS AND FEES

THE HVAC CONTRACTOR SHALL PROCURE ALL PERMITS AND PAY ALL FEES ASSOCIATED WITH THE PERMITTING AND INSPECTION PROCESS. THE HVAC CONTRACTOR SHALL ALSO ARRANGE FOR ALL INSPECTIONS.

## 5. ELECTRICAL

THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUIT, WIRE, SEAL-TIGHT, AND DISCONNECTIONS, UNLESS OTHERWISE STIPULATED, THE ELECTRICAL CONTRACTOR SHALL CONNECT THE AIR CONDITIONING UNITS. THE HVAC CONTRACTOR WILL FURNISH ALL MATERIALS, WIRE AND CONNECT THE THERMOSTAT.

## 6. VIBRATION AND INSULATION

BOTH THE AIR HANDLER UNIT AND CONDENSING UNIT SHALL BE PLACED ON VIBRATION ISOLATORS. THE HVAC CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO ELIMINATE ALL EXCESSIVE VIBRATION AND OBJECTIONAL NOISE PROJECTED BY ANY EQUIPMENT INSTALLED UNDER THIS CONTRACT.

## 7. INSTALLATION

A. THE HVAC CONTRACTOR SHALL SUPPLY ONE THERMOSTAT PER AIR SYSTEM. STAGING OF HEATING AND COOLING SHALL BE INDICATED ON THE DRAWINGS.

B. ALL REFRIGERATION PIPING TO BE TYPE "L" COPPER WITH WROUGHT COPPER FITTINGS. JOINTS SHALL BE MADE WITH SILVER SOLDER.

C. THE REFRIGERATION SUCTION LINES SHALL BE INSULATED AS FOLLOWS: ABOVE GROUND WITH 1/2 "ARMSTRONG ARMAFLEX" BELOW GROUND/SLAB WITH SAME ENCASED P.V.C. CONDUIT. INSULATION SHALL BE SLIPPED ON PIPING PRIOR TO CONNECTION. ALL BUTT JOINTS TO BE SEALED WITH AN APPROVED ADHESIVE. INSTALLATION OF CONDENSATE LINE IS BY THE HVAC CONTRACTOR. INSULATE ALL LINES RUNNING ABOVE CEILING. SEE DETAIL FOR UNDERGROUND PIPING.

D. ALL DUCTWORK SHALL CONFORM TO THE RECOMMENDED CONSTRUCTION FOR LOW AND MEDIUM PRESSURE DUCTWORK AS APPROVED BY THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION. SEAL CLASS "C" FOR ALL LOW PRESSURE DUCTWORK; SEAL CLASS "A" FOR HIGH PRESSURE DUCTWORK. ALL DUCTS SHALL BE MADE OF THE BEST GRADE GALVANIZED SHEET STEEL. THE GAUGE OF THE SHEET STEEL AND DUCT SUPPORTS SHALL CONFORM TO SMACNA STANDARDS. EXPOSED ROUND DUCT SHALL BE SPIRAL LOCKSEAM OR LONGITUDINAL WELDED SEAM AS MANUFACTURED BY UNITED MOGILL SHEET METAL COMPANY. MODELS UNISEAL, UNICOAT, OR LONGITUDINAL SEAM.

E. SUPPLY AND RETURN AIR REGISTERS SHALL BE TITUS OR THEIR METAL AIRE EQUIVALENT AS INDICATED ON THE DRAWINGS. ALL SUPPLY REGISTERS ARE TO BE EQUIPPED WITH MANUAL DAMPERS.

F. EXTRACTORS AND TURNING VANES SHALL BE INSTALLED WHERE INDICATED ON THE DRAWINGS IN ADDITION TO ALL BENDS OVER 45 DEGREES.

G. FILTERS TO BE 2" FIBERBOND DUSTLOK WITH SPOREX ANTIMICROBIAL AGENT AND DUAL PLY CONSTRUCTION, OR IT'S EQUIVALENT. FURNISH TWO ADDITIONAL FILTERS FOR EACH SIZE OF FILTER USED.

## 8. TESTING AND BALANCING

A. UPON COMPLETION OF WORK, THE HVAC CONTRACTOR SHALL USE ACCURATE METERS, INSTRUMENTS OF TYPE AND SIZE AS REQUIRED DETERMINING PROPER AIR FLOW AND DISTRIBUTIONS. CONFIRM THAT ALL FUSE SIZES ARE IN ACCORDANCE WITH THE MOTOR NAMEPLATE DATA.

B. AIR QUANTITIES: CHECK EACH BLOWER AND DIFFUSER AS INDICATED ON DRAWINGS FOR CORRECT AND ADEQUATE DIFFUSION. OUTSIDE AIR QUANTITIES TO BE CHECKED AND ADJUSTED AS REQUIRED. AFTER SPACES HAVE BEEN BROUGHT UP TO DESIGN TEMPERATURES AND EQUIPMENT IS FUNCTIONING PROPERLY, RE-BALANCE, IF NECESSARY, BY MEANS OF CALIBRATED THERMOMETERS PLACED IN EACH ROOM AND IN OPEN SPACES, NOT OVER 20' APART. THERMOSTATS: NO DEVIATION IN TEMPERATURE OF MORE THAN 3 DEGREES FAHRENHEIT THROUGHOUT CONDITIONED SPACE. CONTRACTOR SHALL SUBMIT COMPLETE DATA REPORT REGARDING BALANCING, IN ADDITION TO VARIOUS CONTROL SETTINGS FOR APPROVAL OF ARCHITECT.

| INDOOR MINI-SPLIT UNIT |              |                               |                               |             |             |      |                |                              |
|------------------------|--------------|-------------------------------|-------------------------------|-------------|-------------|------|----------------|------------------------------|
| UNIT NO.               | UNIT TYPE    | NOMINAL COOLING CAPACITY BTUH | NOMINAL HEATING CAPACITY BTUH | AIRFLOW CFM | VOLTS/PHASE | FLA  | NET WEIGHT LBS | BASIS OF DESIGN "MITSUBISHI" |
| AHU-1                  | WALL MOUNTED | 6,000                         | 8,700                         | 117-328     | 240/1       | 0.67 | 29             | MSZ-FH06NA                   |
| AHU-2                  | WALL MOUNTED | 9,000                         | 10,900                        | 117-328     | 240/1       | 0.67 | 29             | MSZ-FH09NA                   |

NOTES:  
 1. PROVIDE WITH WALL-MOUNTED FACTORY FURNISHED THERMOSTAT.  
 2. PROVIDE UNIT WITH CONDENSATE PUMP.

| OUTDOOR MINI-SPLIT UNIT |       |                               |                               |      |      |      |                 |      |      |                |                              |
|-------------------------|-------|-------------------------------|-------------------------------|------|------|------|-----------------|------|------|----------------|------------------------------|
| UNIT NO.                | ZONES | NOMINAL COOLING CAPACITY BTUH | NOMINAL HEATING CAPACITY BTUH | SEER | EER  | HSPF | ELECTRICAL DATA |      |      | NET WEIGHT LBS | BASIS OF DESIGN "MITSUBISHI" |
|                         |       |                               |                               |      |      |      | VOLTS/PHASE     | MCA  | MCOP |                |                              |
| HP-1                    | 3     | 22,000                        | 25,000                        | 20.0 | 13.6 | 10.0 | 208/1           | 22.1 | 25   | 137            | MXZ-3C24NA3                  |
| HP-2                    | 5     | 43,000                        | 53,600                        | 19.7 | 9.2  | 9.2  | 208/1           | 32.5 | 40   | 189            | MXZ-5C42NA4                  |

| EXHAUST FAN SCHEDULE |             |             |            |      |             |            |      |                             |         |
|----------------------|-------------|-------------|------------|------|-------------|------------|------|-----------------------------|---------|
| UNIT NO.             | AREA SERVED | EXHAUST CFM | FAN        |      |             | ELECTRICAL |      | BASIS OF DESIGN "PANASONIC" | REMARKS |
|                      |             |             | HP (WATTS) | RPM  | E.S.P. IN." | VOLTS/PH   | MCA  |                             |         |
| EF-1                 | BATHROOMS   | 80          | (15.9)     | 1500 | 0.1         | 240/1      | 0.13 | FV-0511VH1                  | A,B,C,D |

REMARKS:  
 A. EACH DWELLING UNIT TO HAVE ONE (1) BATHROOM FAN THAT OPERATES CONTINUOUSLY, PROVIDING REQUIRED VENTILATION AIR TO THE SPACE. SEE PLANS FOR BATHROOM FAN LOCATIONS.  
 B. FAN TO BE CEILING MOUNTED ONTO BATHROOM DROP CEILING.  
 C. RADIATION DAMPERS MUST BE INSTALLED IN FIRE RATED CEILING ASSEMBLIES.  
 D. EXHAUST FAN HAS INTEGRAL 1.6 KW HEATER, INSTALL ON DEDICATED CIRCUIT.

| SPLIT SYSTEMS |    |    |     |     |       |      |
|---------------|----|----|-----|-----|-------|------|
| FLOOR         | 6K | 9K | 12K | 15K | TOTAL | HP # |
| B             | 1  | 2  | -   | -   | 24K   | HP-2 |
| 1             | 2  | 3  | -   | -   | 39K   | HP-2 |
| 2             | 4  | -  | -   | -   | 24K   | HP-2 |
| ATTIC         | 2  | 1  | -   | -   | 21K   | HP-2 |

| LEGEND |  |
|--------|--|
|        | SUPPLY AIR (SA)                                    |
|        | RETURN AIR (RA)                                    |
|        | EXHAUST AIR (EA)                                   |
|        | ROUND BRANCH DUCT W/45° TAP & MANUAL VOLUME DAMPER |
|        | RECT. BRANCH DUCT W/45° TAP & MANUAL VOLUME DAMPER |
|        | RECTANGULAR DUCT                                   |
|        | ROUND DUCT (DIAMETER)                              |
|        | THERMOSTAT (WALL MOUNTED)                          |
|        | FLEXIBLE DUCT (SINGLE LINE)                        |
|        | VOLUME CONTROL DAMPER                              |
|        | SQUARE-ROUND DUCT TRANSITION                       |
|        | EQUIPMENT NOMENCLATURE                             |

| ENERGY VERIFICATION |   |
|---------------------|---|
| ①                   | ANY SUPPLY DUCTS LOCATED IN ATTIC SPACES ARE INSULATED >/= R-8. ALL OTHER DUCTS IN UNCONDITIONED SPACES OR OUTSIDE BUILDING ENVELOPE ARE INSULATED >/= R-6. |
| ②                   | ALL JOINTS AND SEAMS OF AIR DUCTS, AIR-HANDLERS, AND FILTER BOXES ARE SEALED.   |
| ③                   | BUILDING CAVITIES ARE NOT USED AS DUCTS OR PLENUMS.   |
| ④                   | HVAC PIPING CARRYING FLUIDS > 105°F OR FLUIDS < 55°F ARE INSULATED TO >/= R-3.  |
| ⑤                   | INSULATION ON HVAC PIPING SHALL BE PROTECTED.   |
| ⑥                   | AUTO/GRAVITY DAMPERS INSTALLED ON ALL INTAKES/EXHAUSTS.   |
| ⑦                   | TOTAL DUCT LEAKAGE TEST MUST BE </= 8 CFM/100 sqft W/ AIR HANDLER INSTALLED.  |
| ⑧                   | AIR HANDLER LEAKAGE DESIGNED BY MFR AT </= 2% OF AIR FLOW.  |
| ⑨                   | HVAC EQUIPMENT TYPE AND CAPACITY SHALL BE AS PER PLANS.   |
| ⑩                   | PROGRAMMABLE T'STATS SHALL BE PROVIDED ON FORCED AIR FURNACE WITH 5 DEGREE F DEADBAND CAPABILITY.   |
| ⑪                   | HEAT PUMP T'STAT INSTALLED ON HEAT PUMPS.   |
| ⑫                   | HEATING AND COOLING EQUIPMENT IS SIZED BASED ON ACCA MANUAL S BASED ON LOADS CALCULATED PER ACCA MANUAL J   |
| ⑬                   | AIR LEAKAGE TEST SHALL BE PERFORMED TO COMPLY W/ IECC 402.4.1.2. MAX AIR CHANGE PER HOUR IS < 5 AC/HR   |
| ⑭                   | MAXIMUM ALLOWABLE LEAKAGE RATES OF DAMPERS PROVIDED TO UNITS, 40 CFM/SQFT FOR NON-MOTORIZED DAMPERS   |

## NOTES:



KIDZ STUFF CHILD CARE CENTER  
 1010 EAST 43RD STREET, BALTIMORE, MD 21212  
 MECHANICAL SPECIFICATIONS

SCALE:  
NO SCALE

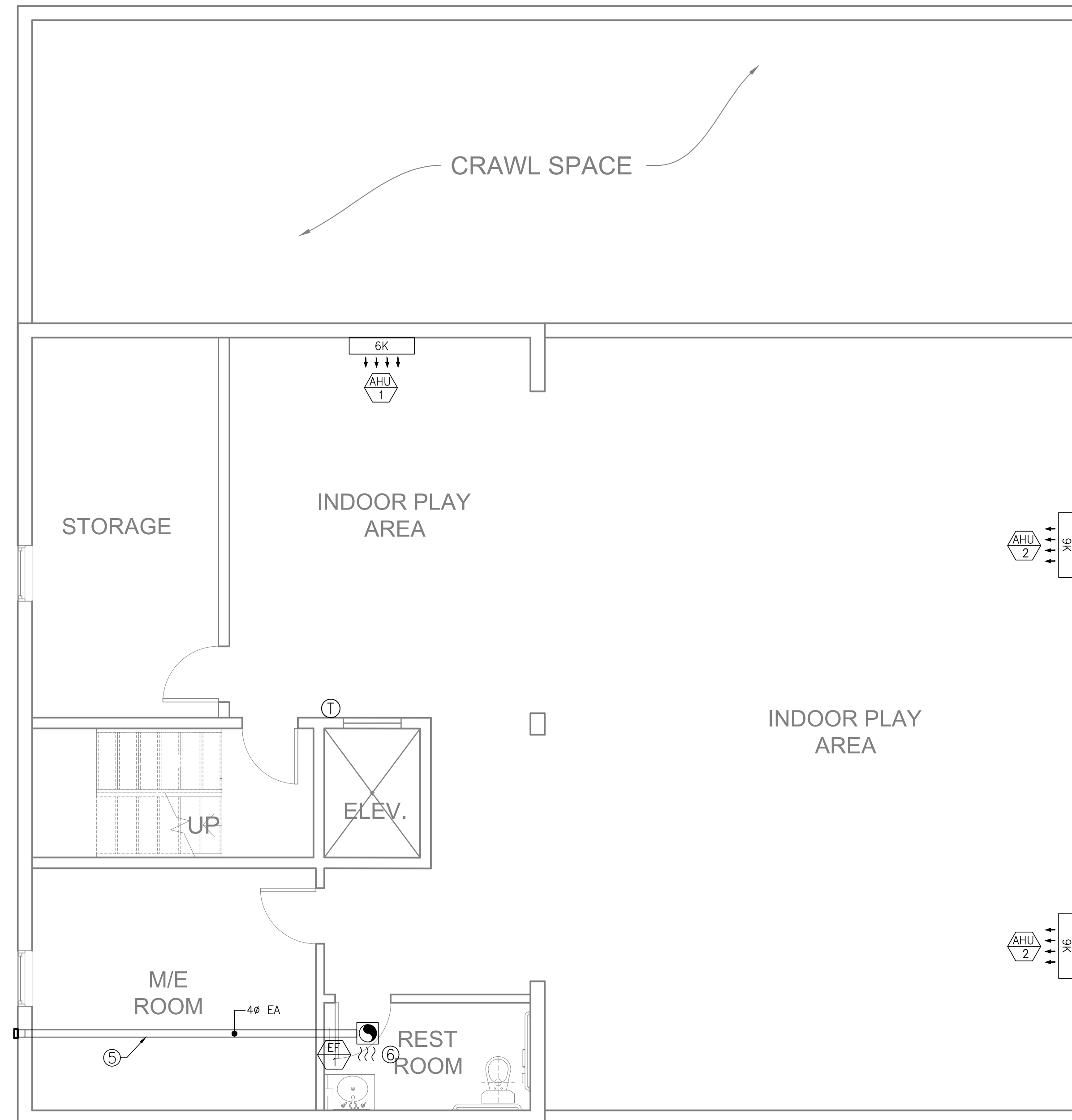
DRAWING NO:  
M-1

GENERAL NOTES

- A. REFER TO DRAWING M-1 FOR SCHEDULES & SPECIFICATIONS.
- B. DRAWINGS ARE DIAGRAMMATICAL BY NATURE AND SHOULD NOT BE SCALED.
- C. COORDINATE WITH OWNER FOR EXACT LOCATION OF AIR DEVICES IN CEILING.
- D. ALL CONTRACTORS PRIOR TO BID SUBMISSION PROCESS SHALL VISIT PROPOSED WORK SITE AND FIELD VERIFY ALL EXISTING CONDITIONS. ANY CONDITIONS THAT DIFFER FROM THAT SHOWN ON THIS PLAN SHALL BE REPORTED TO ARCHITECT/ENGINEER SO THAT NEW AND REVISED BID DRAWINGS OR INFORMATION MAY BE ISSUED. MODIFICATIONS TO SCOPE OF WORK WHICH RESULTS FROM CONTRACTORS NEGLIGENCE TO VISIT WORK SITE PRIOR TO SUBMITTING BID, SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY.

DRAWING NOTES

- 1. INSTALL, SIZE, AND ROUTE REFRIGERATION PIPING AS RECOMMENDED BY SPLIT SYSTEM MANUFACTURER. ALL EXTERIOR PIPING TO CONDENSING UNIT SHALL BE PROTECTED USING A PVC LINE SET COVER.
- 2. CONDENSATE PIPING TO TERMINATE ON GRADE. PIPE SIZE AND ROUTING TO BE DETERMINED IN-FIELD.
- 3. EXHAUST DUCTWORK TO RUN WITHIN DROP CEILING.
- 4. DUCTWORK TO RUN WITHIN BULKHEAD BELOW RATED CEILING.
- 5. 4" BATHROOM EXHAUST DUCT TO TERMINATE ON ROOF WITH ROOF CAP.
- 6. BATHROOM EXHAUST FAN TO RUN CONTINUOUSLY TO PROVIDE REQUIRED VENTILATION.
- 7. COORDINATE DUCT ROUTING UP THRU THIRD FLOOR UP THRU ROOF.



KIDZ STUFF CHILD CARE CENTER

1010 EAST 43RD STREET, BALTIMORE, MD 21212

BASEMENT - MECHANICAL PLAN

SCALE:

1/4" = 1'-0"

DRAWING NO:

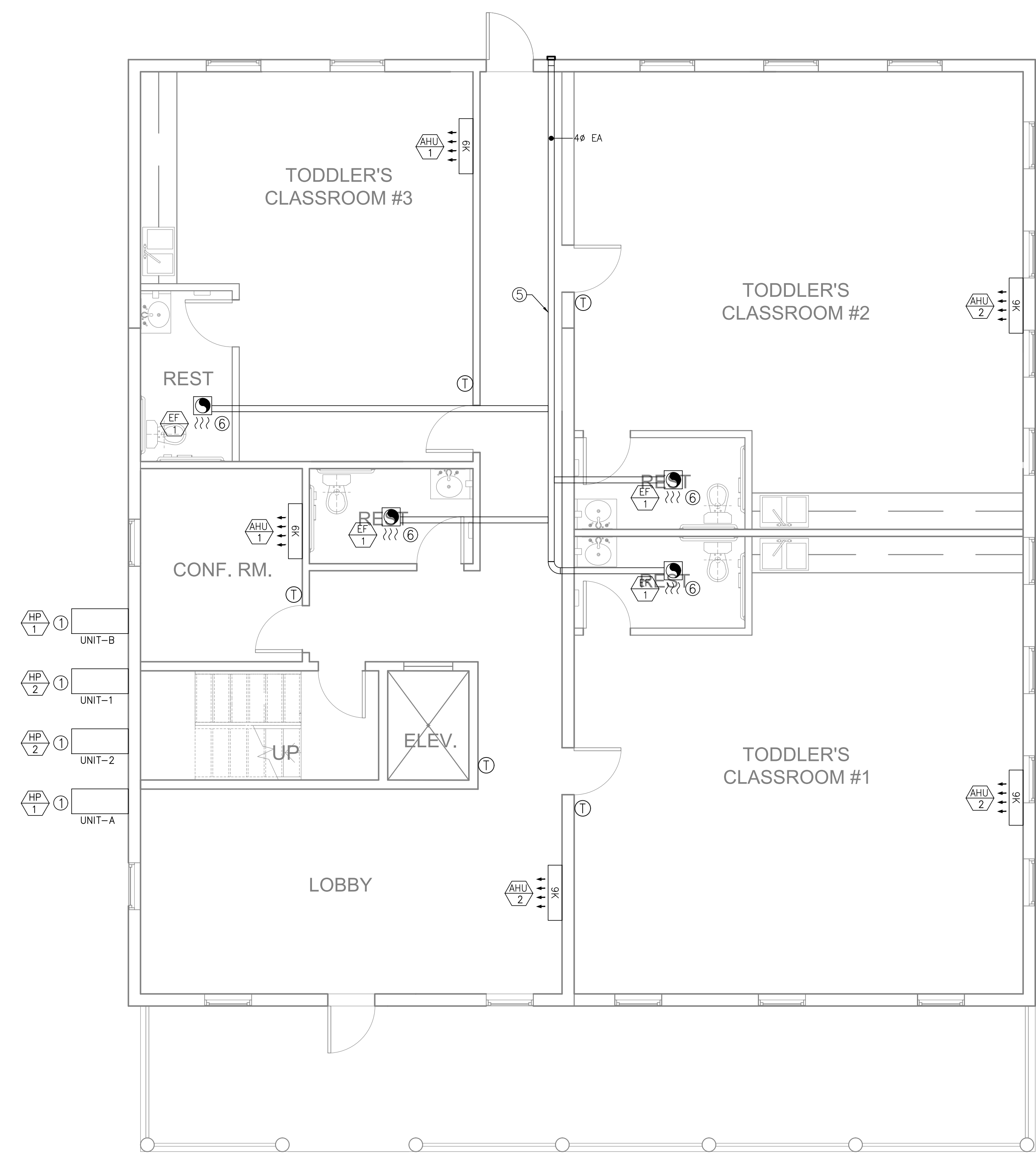
M-2

GENERAL NOTES

- A. REFER TO DRAWING M-1 FOR SCHEDULES & SPECIFICATIONS.
- B. DRAWINGS ARE DIAGRAMMATICAL BY NATURE AND SHOULD NOT BE SCALED.
- C. COORDINATE WITH OWNER FOR EXACT LOCATION OF AIR DEVICES IN CEILING.
- D. ALL CONTRACTORS PRIOR TO BID SUBMISSION PROCESS SHALL VISIT PROPOSED WORK SITE AND FIELD VERIFY ALL EXISTING CONDITIONS. ANY CONDITIONS THAT DIFFER FROM THAT SHOWN ON THIS PLAN SHALL BE REPORTED TO ARCHITECT/ENGINEER SO THAT NEW AND REVISED BID DRAWINGS OR INFORMATION MAY BE ISSUED. MODIFICATIONS TO SCOPE OF WORK WHICH RESULTS FROM CONTRACTORS NEGLIGENCE TO VISIT WORK SITE PRIOR TO SUBMITTING BID, SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY.

DRAWING NOTES

- 1. INSTALL, SIZE, AND ROUTE REFRIGERATION PIPING AS RECOMMENDED BY SPLIT SYSTEM MANUFACTURER. ALL EXTERIOR PIPING TO CONDENSING UNIT SHALL BE PROTECTED USING A PVC LINE SET COVER.
- 2. CONDENSATE PIPING TO TERMINATE ON GRADE. PIPE SIZE AND ROUTING TO BE DETERMINED IN-FIELD.
- 3. EXHAUST DUCTWORK TO RUN WITHIN DROP CEILING.
- 4. DUCTWORK TO RUN WITHIN BULKHEAD BELOW RATED CEILING.
- 5. 4" BATHROOM EXHAUST DUCT TO TERMINATE ON ROOF WITH ROOF CAP.
- 6. BATHROOM EXHAUST FAN TO RUN CONTINUOUSLY TO PROVIDE REQUIRED VENTILATION.
- 7. COORDINATE DUCT ROUTING UP THRU THIRD FLOOR UP THRU ROOF.



KIDZ STUFF CHILD CARE CENTER

1010 EAST 43RD STREET, BALTIMORE, MD 21212

1ST FLOOR - MECHANICAL PLAN

SCALE: 1/4" = 1'-0"

DRAWING NO: M-3

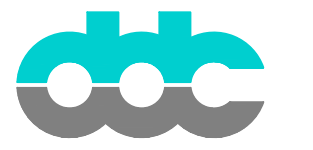


GENERAL NOTES

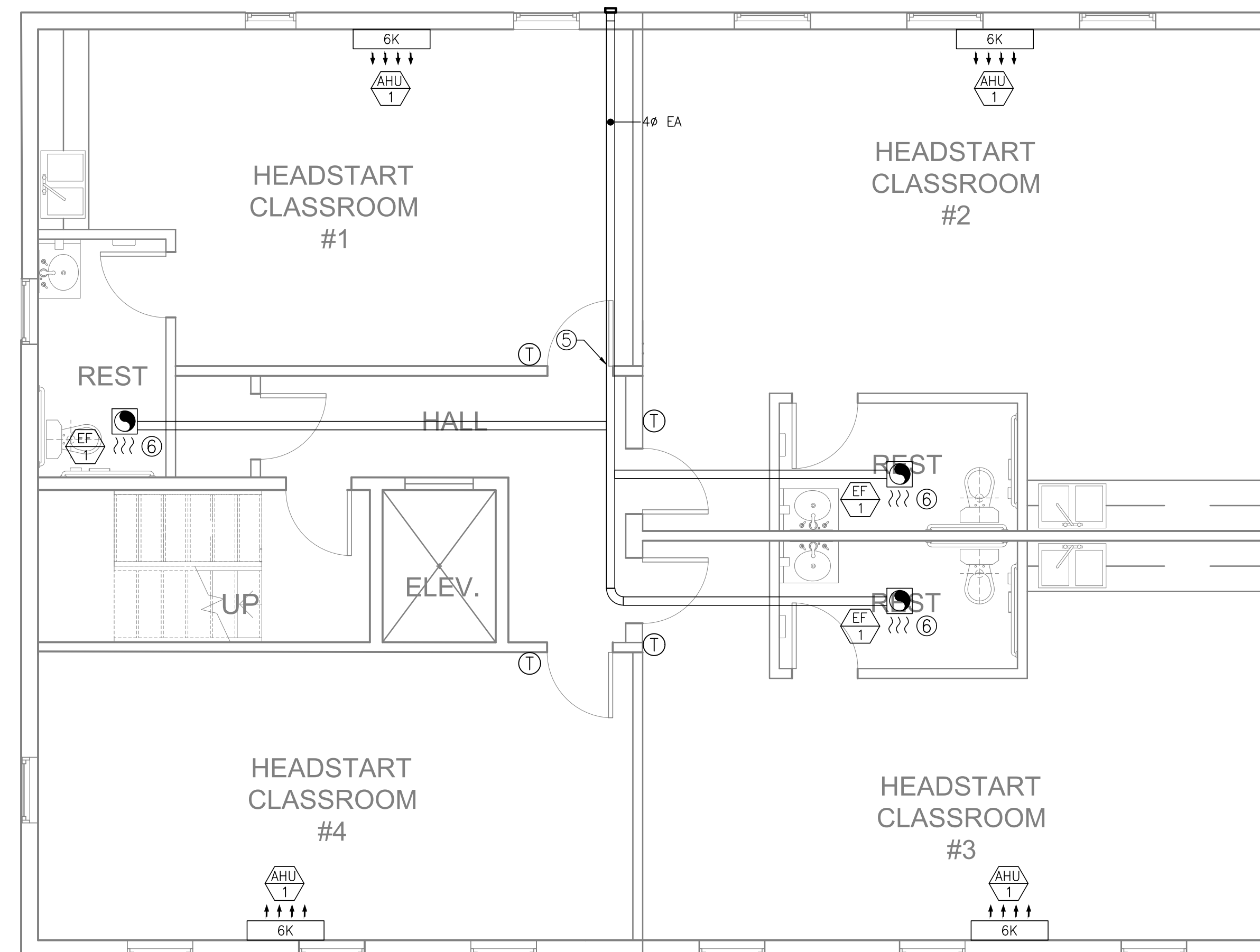
- A. REFER TO DRAWING M-1 FOR SCHEDULES & SPECIFICATIONS.
- B. DRAWINGS ARE DIAGRAMMATICAL BY NATURE AND SHOULD NOT BE SCALED.
- C. COORDINATE WITH OWNER FOR EXACT LOCATION OF AIR DEVICES IN CEILING.
- D. ALL CONTRACTORS PRIOR TO BID SUBMISSION PROCESS SHALL VISIT PROPOSED WORK SITE AND FIELD VERIFY ALL EXISTING CONDITIONS. ANY CONDITIONS THAT DIFFER FROM THAT SHOWN ON THIS PLAN SHALL BE REPORTED TO ARCHITECT/ENGINEER SO THAT NEW AND REVISED BID DRAWINGS OR INFORMATION MAY BE ISSUED. MODIFICATIONS TO SCOPE OF WORK WHICH RESULTS FROM CONTRACTORS NEGLIGENCE TO VISIT WORK SITE PRIOR TO SUBMITTING BID, SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY.

① DRAWING NOTES

- 1. INSTALL, SIZE, AND ROUTE REFRIGERATION PIPING AS RECOMMENDED BY SPLIT SYSTEM MANUFACTURER. ALL EXTERIOR PIPING TO CONDENSING UNIT SHALL BE PROTECTED USING A PVC LINE SET COVER.
- 2. CONDENSATE PIPING TO TERMINATE ON GRADE. PIPE SIZE AND ROUTING TO BE DETERMINED IN-FIELD.
- 3. EXHAUST DUCTWORK TO RUN WITHIN DROP CEILING.
- 4. DUCTWORK TO RUN WITHIN BULKHEAD BELOW RATED CEILING.
- 5. 4" BATHROOM EXHAUST DUCT TO TERMINATE ON ROOF WITH ROOF CAP.
- 6. BATHROOM EXHAUST FAN TO RUN CONTINUOUSLY TO PROVIDE REQUIRED VENTILATION.
- 7. COORDINATE DUCT ROUTING UP THRU THIRD FLOOR UP THRU ROOF.



DunlapDesign  
consultants  
(443)742-7227



KIDZ STUFF CHILD CARE CENTER

1010 EAST 43RD STREET, BALTIMORE, MD 21212

2ND FLOOR - MECHANICAL PLAN

SCALE:

1/4" = 1'-0"

DRAWING NO:

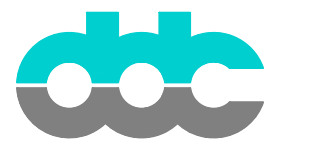
M-4

GENERAL NOTES

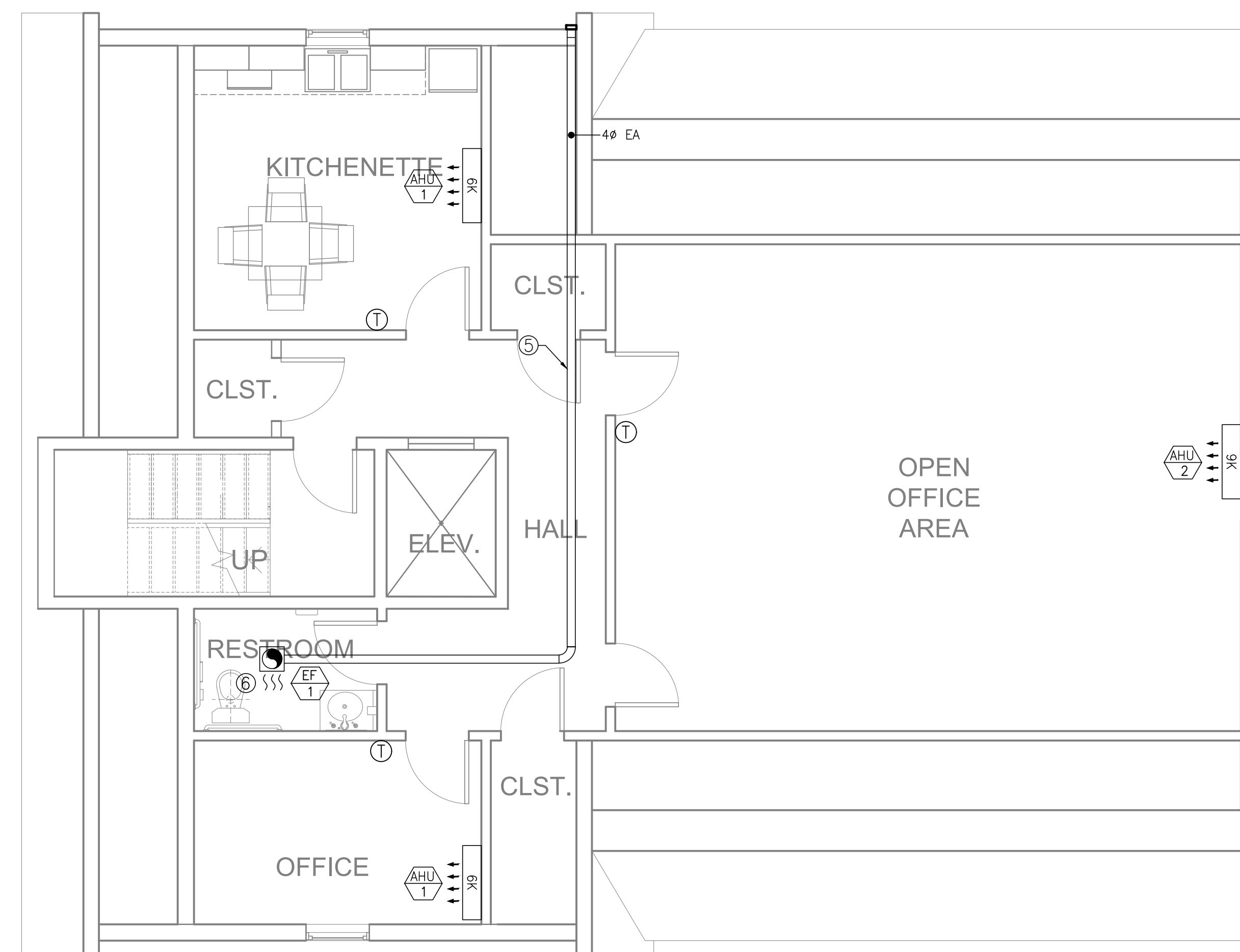
- A. REFER TO DRAWING M-1 FOR SCHEDULES & SPECIFICATIONS.
- B. DRAWINGS ARE DIAGRAMMATICAL BY NATURE AND SHOULD NOT BE SCALED.
- C. COORDINATE WITH OWNER FOR EXACT LOCATION OF AIR DEVICES IN CEILING.
- D. ALL CONTRACTORS PRIOR TO BID SUBMISSION PROCESS SHALL VISIT PROPOSED WORK SITE AND FIELD VERIFY ALL EXISTING CONDITIONS. ANY CONDITIONS THAT DIFFER FROM THAT SHOWN ON THIS PLAN SHALL BE REPORTED TO ARCHITECT/ENGINEER SO THAT NEW AND REVISED BID DRAWINGS OR INFORMATION MAY BE ISSUED. MODIFICATIONS TO SCOPE OF WORK WHICH RESULTS FROM CONTRACTORS NEGLIGENCE TO VISIT WORK SITE PRIOR TO SUBMITTING BID, SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY.

DRAWING NOTES

- 1. INSTALL, SIZE, AND ROUTE REFRIGERATION PIPING AS RECOMMENDED BY SPLIT SYSTEM MANUFACTURER. ALL EXTERIOR PIPING TO CONDENSING UNIT SHALL BE PROTECTED USING A PVC LINE SET COVER.
- 2. CONDENSATE PIPING TO TERMINATE ON GRADE. PIPE SIZE AND ROUTING TO BE DETERMINED IN-FIELD.
- 3. EXHAUST DUCTWORK TO RUN WITHIN DROP CEILING.
- 4. DUCTWORK TO RUN WITHIN BULKHEAD BELOW RATED CEILING.
- 5. 4" BATHROOM EXHAUST DUCT TO TERMINATE ON ROOF WITH ROOF CAP.
- 6. BATHROOM EXHAUST FAN TO RUN CONTINUOUSLY TO PROVIDE REQUIRED VENTILATION.
- 7. COORDINATE DUCT ROUTING UP THRU THIRD FLOOR UP THRU ROOF.



DunlapDesign  
consultants  
(443)742-7227



KIDZ STUFF CHILD CARE CENTER

1010 EAST 43RD STREET, BALTIMORE, MD 21212

ATTIC - MECHANICAL PLAN

SCALE:

1/4" = 1'-0"

DRAWING NO:

M-5

ELECTRICAL SPECIFICATIONS:

- A. GENERAL: THE REQUIREMENTS OF THE GENERAL, SUPPLEMENTARY AND SPECIAL CONDITIONS OF THE CONTRACT SPECIFICATIONS AND DRAWINGS ARE HEREBY MADE A PART OF THIS SECTION OF THE SPECIFICATIONS. IT IS THE INTENT OF THE PLANS AND SPECIFICATIONS TO PROVIDE A COMPLETE AND OPERATING INSTALLATION INCLUDING ALL OBVIOUSLY NECESSARY ITEMS EVEN THOUGH ITEMS ARE NOT INDICATED ON THE DRAWINGS OR SPECIFICATIONS.
- B. PERMITS, SALES TAX, ETC.: THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, STATE SALES TAX, FEDERAL EXCISE TAX, ROYALTIES AND OTHER TAXES OR FEES AS REQUIRED FOR INSTALLATION OF A COMPLETE SYSTEM AS OUTLINED HEREIN AND AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL SECURE ALL NECESSARY LICENSES AND INSURANCE.
- C. CODES: THE WORK SHALL COMPLY WITH LATEST APPLICABLE REQUIREMENTS OF THE NFPA AND ALL LOCAL CODES GOVERNING THIS INSTALLATION AS A MINIMUM STANDARD UNLESS SPECIFICATIONS LISTED HEREIN OR SHOWN ON THE PLANS REQUIRE A HIGHER MINIMUM STANDARD.
- D. BRANDS OF EQUIPMENT: WHERE ONE MANUFACTURER ONLY IS NAMED, THE BIDS SHALL BE BASED ON FURNISHING EQUIPMENT OR MATERIALS BY THIS MANUFACTURER. PRODUCTS OF OTHER MANUFACTURERS WILL BE CONSIDERED FOR USE IF THE ITEM REQUESTED FOR SUBSTITUTION IS EQUAL TO THAT SPECIFIED. WHERE NO MANUFACTURERS ARE NAMED, THE CONTRACTOR SHALL SELECT EQUIPMENT OR MATERIAL WHICH MEETS THE SPECIFICATIONS.
- E. DEPARTURES FROM DRAWINGS: THE CONTRACT DRAWINGS INDICATE THE EXTENT AND GENERAL ARRANGEMENTS OF EQUIPMENT AND SYSTEMS. IF ANY DEPARTURES FROM THE CONTRACT DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREFOR SHALL BE SUBMITTED FOR APPROVAL. NO SUCH DEPARTURES SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL.
- F. CHANGES: THE CONTRACTOR SHALL CONFORM TO ALL REASONABLE CHANGES WITHOUT ADDITIONAL COST.
- G. ERRORS AND OMISSIONS: ALL OBVIOUS ERRORS AND/OR OMISSIONS IN THE ABOVE MENTIONED DOCUMENTS SHALL BE CALLED TO THE ATTENTION OF THE GC AT LEAST FOUR DAYS PRIOR TO THE BID DATE. IF NOTIFICATION IS NOT RECEIVED, NO EXTRAS TO THE ORIGINAL DRAWINGS AND SPECIFICATIONS WILL BE AUTHORIZED.
- H. GUARANTEE: THE CONTRACTOR SHALL PROVIDE A GUARANTEE AGAINST DEFECTIVE WORKMANSHIP, MATERIALS OR EQUIPMENT FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. THIS GUARANTEE SHALL INCLUDE ALL COSTS ENCOUNTERED IN THE REPLACING OF DEFECTIVE WORK OR MATERIALS. THE CONTRACTOR SHALL CONVEY TO THE OWNER ANY ADDITIONAL GUARANTIES OR WARRANTIES PROVIDED BY THE MANUFACTURER OF AN INDIVIDUAL ITEM, EQUIPMENT OR MATERIAL.

**1. RACEWAY**

- A. EMT: MAY BE USED FOR ALL BRANCH CIRCUIT WIRING IN AREAS ABOVE GRADE AND WITHIN THE THE BUILDING. ALL EMT SHALL BE GALVANIZED. ALL EMT FITTINGS SHALL BE STEEL WITH SET SCREWS.
- B. PVC: SHALL BE SCHEDULE 40 HIGH IMPACT, UL APPROVED, AND SHALL BE INSTALLED UNDERGROUND OR IN THE SLAB.
- C. RIGID CONDUIT: SHALL BE USED FOR ALL EXTERIOR INSTALLATION WHERE MECHANICAL DAMAGE IS POSSIBLE.

**2. WIRE AND CABLE**

- A. CONDUCTORS: SHALL BE COPPER. INSULATION SHALL BE TYPE THHN/THWN FOR ALL SIZES. MINIMUM SIZE WIRE NO. 12, CONDUCTORS NO. 10 AND LARGER ARE TO BE STRANDED. BRANCH CONDUIT OUTLETS SHALL BE CONNECTED AS INDICATED.
- B. COLOR CODES: CONDUCTORS SHALL BE COLOR CODED THROUGHOUT. SAME COLOR SHALL BE USED FOR BRANCH CIRCUIT WIRING OF A GIVEN PHASE. GROUNDED CONDUCTORS NO. 4 AWG AND LARGER MAY BE BLACK, BUT SHALL BE IDENTIFIED WITH COLORED TAPE IN JUNCTION BOXES, PULL BOXES, PANELS AND SERVICE EQUIPMENT.
  - 120/240V OR 120/208V SYSTEMS  
THREE WIRE CIRCUITS - ONE BLACK, ONE RED AND ONE WHITE  
FOUR WIRE CIRCUITS - ONE BLACK, ONE RED, ONE WHITE, ONE BLUE
  - 277/480V SYSTEMS - ONE BROWN, ONE ORANGE, ONE YELLOW, ONE GRAY
- C. CONTINUITY OF NEUTRALS OF MULTI-WIRED BRANCH CIRCUITS SHALL NOT BE MADE ON TERMINALS OF ANY DEVICE. THIS WILL ASSURE NO OPENING OF NEUTRAL IN REPLACEMENT OF DEVICE.

**3. SPLICES**

- #10 AND BELOW - SCOTCHLOK OR EQUAL
- #8 AND LARGER - NOT ALLOWED

**4. BOXES**

- A. OUTLET BOXES: SECTION WELDED GALVANIZED STAMPED STEEL FOR GANG SIZES REQUIRED. SECTIONAL BOXES WILL NOT BE ACCEPTABLE. BOXES LARGER THAN STANDARD SHALL BE PROVIDED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE WHERE NECESSARY TO PREVENT CROWDING OF WIRES.
- B. FLOOR BOXES: TO BE CARLON E971FB WITH E97ABR ADAPTER FOR CAST BRONZE COVER PLATES AS MANUFACTURED BY STEEL CITY.
- C. WALL SWITCHES: SHALL BE CONTRACTOR GRADE, QUIET-TYPE, HIGH PERFORMANCE SWITCHES RATED AT 15A, 277V. COLOR AND SWITCH PLATES AS DIRECTED BY THE OWNER/DECORATOR.
- D. RECEPTACLES: SEE GENERAL NOTES ON THIS SHEET FOR REQUIREMENTS.
- E. POWER OUTLETS: LEVITON OR SLATER, TYPE AND SIZE AS NOTED.
- F. DIMMER SWITCHES: SHALL BE EQUAL TO LUTRON #N - 1500 ML SLIDE DIMMER WITH TOUCH - BUTTON ON/OFF SWITCH WITH LUTRON #N - SML FOR THREE WAY CONTROL. LOW VOLTAGE DIMMERS SHALL BE NOVA SERIES, LOAD COORDINATED AS REQUIRED.

**5. DISCONNECT SWITCHES**

- A. SHALL BE FURNISHED WITH ENCLOSURES AS REQUIRED BY EXPOSURES EITHER NEMA 1 OR 3R AND SHALL BE HORSEPOWER RATED, HEAVY DUTY WITH FUSES AS NOTED.
- B. NON-FUSIBLE DISCONNECT SWITCHES: SHALL BE PROVIDED FOR ALL MOTORS LOCATED OUT OF SIGHT OF MOTOR CONTROLLER AND WHERE INDICATED ON THE DRAWINGS. DISCONNECT SWITCHES SHALL DISCONNECT ALL UNGROUNDED CONDUCTORS.
- C. FUSES: TO BE FURNISHED FOR FUSIBLE EQUIPMENT. MOTOR FUSES SHALL BE BUS FUSETRONS RATED BETWEEN 125 AND 150 PERCENT OF MOTOR NAME PLATE RATING. FURNISH EXTRA SET OF SPARE FUSES FOR EACH FUSED DISCONNECT INSTALLED. SPARE FUSES TO BE PLACED WITHIN A FUSE CABINET LOCATED IN THE ELECTRIC ROOM.

**6. PANELBOARD, LOADCENTER**

- A. LOADCENTERS SHALL BE AS NOTED ON PLANS WITH COVER AND TYPE WRITTEN DIRECTORY INSIDE OF COVER. PANELBOARDS SHALL BE THE PRODUCT OF CUTLER-HAMMER OR SQUARE D.

**7. LIGHTING FIXTURES**

- A. UNLESS OTHERWISE NOTED, LIGHT FIXTURES WILL BE FURNISHED AND INSTALLED AS INDICATED ON THE LIGHTING FIXTURE SCHEDULE FOR INSTALLATION BY THE ELECTRICAL CONTRACTOR.

**8. IDENTIFICATION**

- A. TAG ALL CONDUCTORS AND IDENTIFY MAJOR CONDUITS IN OR AT WIREWAYS, PANELS, PULLBOXES, SWITCHBOARDS, MOTOR CONTROLLERS, CABINETS AND SIMILAR ITEMS TO ASSIST IN FUTURE CIRCUIT TRACING. CONDUCTOR TAGS SHALL BE NONCONDUCTIVE.
- B. IDENTIFY ALL CIRCUITS AND EQUIPMENT TO CORRESPOND WITH THE PLANS AND SPECIFICATIONS.

| SCHEDULE OF LOADCENTER                                    |      |      |                               |             |                                      |   |                        |      |                               |                                      |             |  |
|---|------|------|-------------------------------|-------------|--------------------------------------|---|------------------------|------|-------------------------------|--------------------------------------|-------------|--|
| PANELS: A   |      |      |                               |             |                                      | PANELS: B   |                        |      |                               |                                      |             |  |
| MAIN: 125 AMP LUGS ONLY PANEL                             |      |      | VOLTAGE: 120/208V, 1Ø, 3 WIRE |             |                                      | MAIN: 125 AMP LUGS ONLY PANEL                             |                        |      | VOLTAGE: 120/208V, 1Ø, 3 WIRE |                                      |             |  |
| SPEC: SIEMENS TYPE "EQ-LOADCENTER" OR APPROVED EQUIVALENT |      |      | FED FROM: METER               |             |                                      | SPEC: SIEMENS TYPE "EQ-LOADCENTER" OR APPROVED EQUIVALENT |                        |      | FED FROM: METER               |                                      |             |  |
| MOUNTING: FLUSH   |      |      | AIC SYMM: SERIES RATED        |             |                                      | MOUNTING: FLUSH   |                        |      | AIC SYMM: SERIES RATED        |                                      |             |  |
| DESCRIPTION   | TRIP | CKT. | A PHASE KVA                   | C PHASE KVA | CKT.                                 | TRIP  | DESCRIPTION            | TRIP | CKT.                          | A PHASE KVA                          | C PHASE KVA |  |
| LIGHTS & RECEPTS  | 20   | 1    | 1.5                           | 1.8         | 2                                    | 20  | MINI SPLIT HVAC SYSTEM | 20   | 1                             | 1.5                                  | 1.8         |  |
| LIGHTS & RECEPTS  | 20   | 3    |                               |             | 4                                    | 2   |                        | 20   | 3                             |                                      |             |  |
| LIGHTS & RECEPTS  | 20   | 5    | 1.2                           | 2.3         | 6                                    | 30  | WATER HEATER           | 20   | 5                             | 1.2                                  | 2.3         |  |
| LIGHTS & RECEPTS  | 20   | 7    |                               | 0.8         | 2.3                                  | 8   |                        | 20   | 7                             |                                      | 0.8         |  |
| LIGHTS & RECEPTS  | 20   | 9    | 1.5                           | 1.8         | 2                                    | 20  | MINI SPLIT HVAC SYSTEM | 20   | 9                             | 1.5                                  | 1.8         |  |
| LIGHTS & RECEPTS  | 20   | 11   |                               |             | 4                                    | 2   |                        | 20   | 11                            |                                      |             |  |
| LIGHTS & RECEPTS  | 20   | 13   | **                            | -           | -                                    | 14  | SPACE                  | 20   | 13                            | **                                   | -           |  |
| LIGHTS & RECEPTS  | 20   | 15   | **                            | -           | -                                    | 16  | SPACE                  | 20   | 15                            | **                                   | -           |  |
| LIGHTS & RECEPTS  | 20   | 17   | **                            | -           | -                                    | 18  | SPACE                  | 20   | 17                            | **                                   | -           |  |
| LIGHTS & RECEPTS  | -    | 19   | -                             | -           | -                                    | 20  | SPACE                  | -    | 19                            | -                                    | -           |  |
| LIGHTS & RECEPTS  | -    | 21   | -                             | -           | -                                    | 22  | SPACE                  | -    | 21                            | -                                    | -           |  |
| LIGHTS & RECEPTS  | -    | 23   | -                             | -           | -                                    | 24  | SPACE                  | -    | 23                            | -                                    | -           |  |
| **LIGHTING & RECEPTACLES @ 3 WATTS/SQFT                   |      |      | 11.6                          | 11.9        | KVA PER PHASE (NON-DIVERSIFIED)      |   |                        | 11.6 | 11.9                          | KVA PER PHASE (NON-DIVERSIFIED)      |             |  |
| 600 SOFT x 3 VA = 1.8 KVA                                 |      |      | 1.8                           |             | LTG & RECEPT LOAD KVA                |   |                        | 1.8  |                               | LTG & RECEPT LOAD KVA                |             |  |
|   |      |      | 25.3                          |             | TOTAL NON-DIVERSIFIED LOAD           |   |                        | 25.3 |                               | TOTAL NON-DIVERSIFIED LOAD           |             |  |
|   |      |      | 21.7                          |             | NON DIVERSIFIED LOAD LESS HVAC LOADS |   |                        | 21.7 |                               | NON DIVERSIFIED LOAD LESS HVAC LOADS |             |  |
|   |      |      | 10.0                          |             | 1ST 10 KVA @ 100%                    |   |                        | 10.0 |                               | 1ST 10 KVA @ 100%                    |             |  |
|   |      |      | 4.7                           |             | REMAINDER @ 40%                      |   |                        | 4.7  |                               | REMAINDER @ 40%                      |             |  |
|   |      |      | 3.6                           |             | KVA PER PHASE LARGEST (HVAC)         |   |                        | 3.6  |                               | KVA PER PHASE LARGEST (HVAC)         |             |  |
|   |      |      | 18.3                          |             | TOTAL DIVERSIFIED KVA                |   |                        | 18.3 |                               | TOTAL DIVERSIFIED KVA                |             |  |
|   |      |      | 88.0                          |             | TOTAL AMPS                           |   |                        | 88.0 |                               | TOTAL AMPS                           |             |  |

① PROVIDE ARC-FAULT TYPE CIRCUIT BREAKER

| SCHEDULE OF LOADCENTER                                    |      |      |                               |             |                                      |   |                        |      |                               |                                      |             |  |
|---|------|------|-------------------------------|-------------|--------------------------------------|---|------------------------|------|-------------------------------|--------------------------------------|-------------|--|
| PANELS: A   |      |      |                               |             |                                      | PANELS: B   |                        |      |                               |                                      |             |  |
| MAIN: 125 AMP LUGS ONLY PANEL                             |      |      | VOLTAGE: 120/208V, 1Ø, 3 WIRE |             |                                      | MAIN: 125 AMP LUGS ONLY PANEL                             |                        |      | VOLTAGE: 120/208V, 1Ø, 3 WIRE |                                      |             |  |
| SPEC: SIEMENS TYPE "EQ-LOADCENTER" OR APPROVED EQUIVALENT |      |      | FED FROM: METER               |             |                                      | SPEC: SIEMENS TYPE "EQ-LOADCENTER" OR APPROVED EQUIVALENT |                        |      | FED FROM: METER               |                                      |             |  |
| MOUNTING: FLUSH   |      |      | AIC SYMM: SERIES RATED        |             |                                      | MOUNTING: FLUSH   |                        |      | AIC SYMM: SERIES RATED        |                                      |             |  |
| DESCRIPTION   | TRIP | CKT. | A PHASE KVA                   | C PHASE KVA | CKT.                                 | TRIP  | DESCRIPTION            | TRIP | CKT.                          | A PHASE KVA                          | C PHASE KVA |  |
| LIGHTS & RECEPTS  | 20   | 1    | 1.5                           | 1.8         | 2                                    | 20  | MINI SPLIT HVAC SYSTEM | 20   | 1                             | 1.5                                  | 1.8         |  |
| LIGHTS & RECEPTS  | 20   | 3    |                               |             | 4                                    | 2   |                        | 20   | 3                             |                                      |             |  |
| LIGHTS & RECEPTS  | 20   | 5    | 1.2                           | 2.3         | 6                                    | 30  | WATER HEATER           | 20   | 5                             | 1.2                                  | 2.3         |  |
| LIGHTS & RECEPTS  | 20   | 7    |                               | 0.8         | 2.3                                  | 8   |                        | 20   | 7                             |                                      | 0.8         |  |
| LIGHTS & RECEPTS  | 20   | 9    | 1.5                           | 1.8         | 2                                    | 20  | MINI SPLIT HVAC SYSTEM | 20   | 9                             | 1.5                                  | 1.8         |  |
| LIGHTS & RECEPTS  | 20   | 11   |                               |             | 4                                    | 2   |                        | 20   | 11                            |                                      |             |  |
| LIGHTS & RECEPTS  | 20   | 13   | **                            | -           | -                                    | 14  | SPACE                  | 20   | 13                            | **                                   | -           |  |
| LIGHTS & RECEPTS  | 20   | 15   | **                            | -           | -                                    | 16  | SPACE                  | 20   | 15                            | **                                   | -           |  |
| LIGHTS & RECEPTS  | 20   | 17   | **                            | -           | -                                    | 18  | SPACE                  | 20   | 17                            | **                                   | -           |  |
| LIGHTS & RECEPTS  | -    | 19   | -                             | -           | -                                    | 20  | SPACE                  | -    | 19                            | -                                    | -           |  |
| LIGHTS & RECEPTS  | -    | 21   | -                             | -           | -                                    | 22  | SPACE                  | -    | 21                            | -                                    | -           |  |
| LIGHTS & RECEPTS  | -    | 23   | -                             | -           | -                                    | 24  | SPACE                  | -    | 23                            | -                                    | -           |  |
| **LIGHTING & RECEPTACLES @ 3 WATTS/SQFT                   |      |      | 11.6                          | 11.9        | KVA PER PHASE (NON-DIVERSIFIED)      |   |                        | 11.6 | 11.9                          | KVA PER PHASE (NON-DIVERSIFIED)      |             |  |
| 600 SOFT x 3 VA = 1.8 KVA                                 |      |      | 1.8                           |             | LTG & RECEPT LOAD KVA                |   |                        | 1.8  |                               | LTG & RECEPT LOAD KVA                |             |  |
|   |      |      | 25.3                          |             | TOTAL NON-DIVERSIFIED LOAD           |   |                        | 25.3 |                               | TOTAL NON-DIVERSIFIED LOAD           |             |  |
|   |      |      | 21.7                          |             | NON DIVERSIFIED LOAD LESS HVAC LOADS |   |                        | 21.7 |                               | NON DIVERSIFIED LOAD LESS HVAC LOADS |             |  |
|   |      |      | 10.0                          |             | 1ST 10 KVA @ 100%                    |   |                        | 10.0 |                               | 1ST 10 KVA @ 100%                    |             |  |
|   |      |      | 4.7                           |             | REMAINDER @ 40%                      |   |                        | 4.7  |                               | REMAINDER @ 40%                      |             |  |
|   |      |      | 3.6                           |             | KVA PER PHASE LARGEST (HVAC)         |   |                        | 3.6  |                               | KVA PER PHASE LARGEST (HVAC)         |             |  |
|   |      |      | 18.3                          |             | TOTAL DIVERSIFIED KVA                |   |                        | 18.3 |                               | TOTAL DIVERSIFIED KVA                |             |  |
|   |      |      | 88.0                          |             | TOTAL AMPS                           |   |                        | 88.0 |                               | TOTAL AMPS                           |             |  |

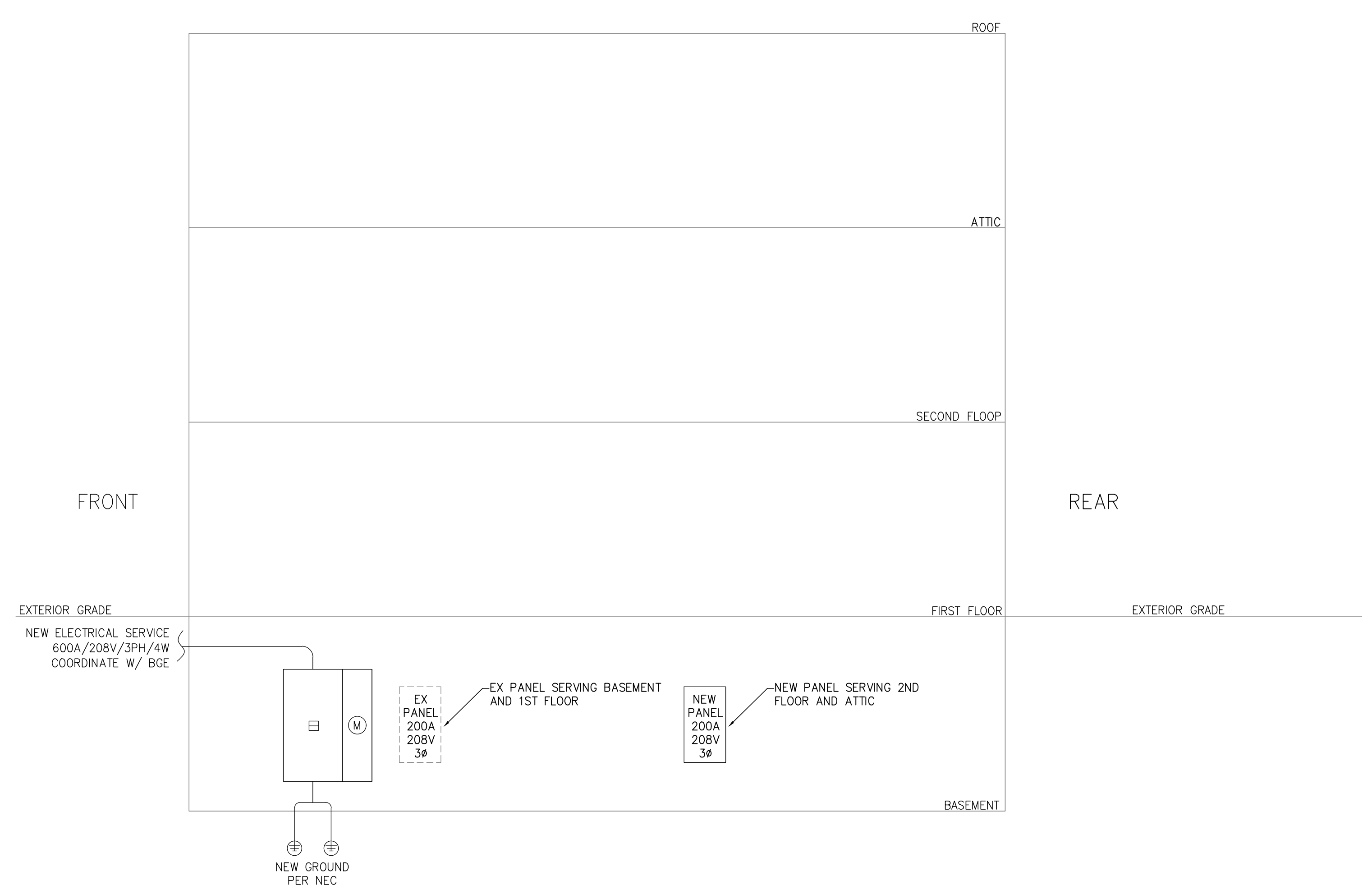
① PROVIDE ARC-FAULT TYPE CIRCUIT BREAKER

| ELECTRICAL LEGEND |   |
|-------------------|---|
| SYMBOL            | DESCRIPTION   |
|                   | SINGLE POLE TOGGLE SWITCH MOUNTED 4'-0" AFF                             |
|                   | THREE WAY TOGGLE SWITCH MOUNTED 4'-0" AFF                               |
|                   | KEYED LIGHT SWITCH MOUNTED 4'-0" AFF                                    |
|                   | CEILING MOUNTED OCCUPANCY SENSOR  |
|                   | DUPLEX RECEPTACLE 120V, 20A, 18" AFF, UON                               |
|                   | DUPLEX GFI RECEPTACLE 120V, 20A, 18" AFF, UON<br>WP= WEATHERPROOF COVER |
|                   | DUPLEX RECEPTACLE 120V, 20A, 44" AFF, UON                               |
|                   | DISCONNECT, VOLTAGE & SIZE AS NOTED.                                    |
|                   | PANEL, SIZE & VOLTAGE - SEE PANEL SCHEDULE.                             |
|                   | SMOKE/CARBONMONOXIDE DETECTOR   |
|                   | EXHAUST FAN   |
|                   | ELECTRIC BASEBOARD HEATER   |
|                   | HOME RUN TO PANEL BOARD   |
|                   | INTERNALLY ILLUMINATED EXIT SIGN  |
|                   | EMERGENCY LIGHT/ EXIT SIGN COMBO FIXTURE                                |
|                   | EMERGENCY LIGHT FIXTURE   |
|                   | LED SURFACE MOUNTED RECESSED STYLE LIGHT FIXTURE                        |
|                   | LED BATHROOM VANITY LIGHT FIXTURE                                       |
|                   | LED SURFACE MOUNTED LIGHT FIXTURE                                       |

NOTES:



**KIDZ STUFF CHILD CARE CENTER**  
**1010 EAST 43RD STREET, BALTIMORE, MD 21212**  
**ELECTRICAL SPECIFICATIONS**



**1 ELECTRICAL RISER DIAGRAM**  
NOT TO SCALE

SCALE:  
**NO SCALE**

DRAWING NO:  
**E-1**

GENERAL NOTES

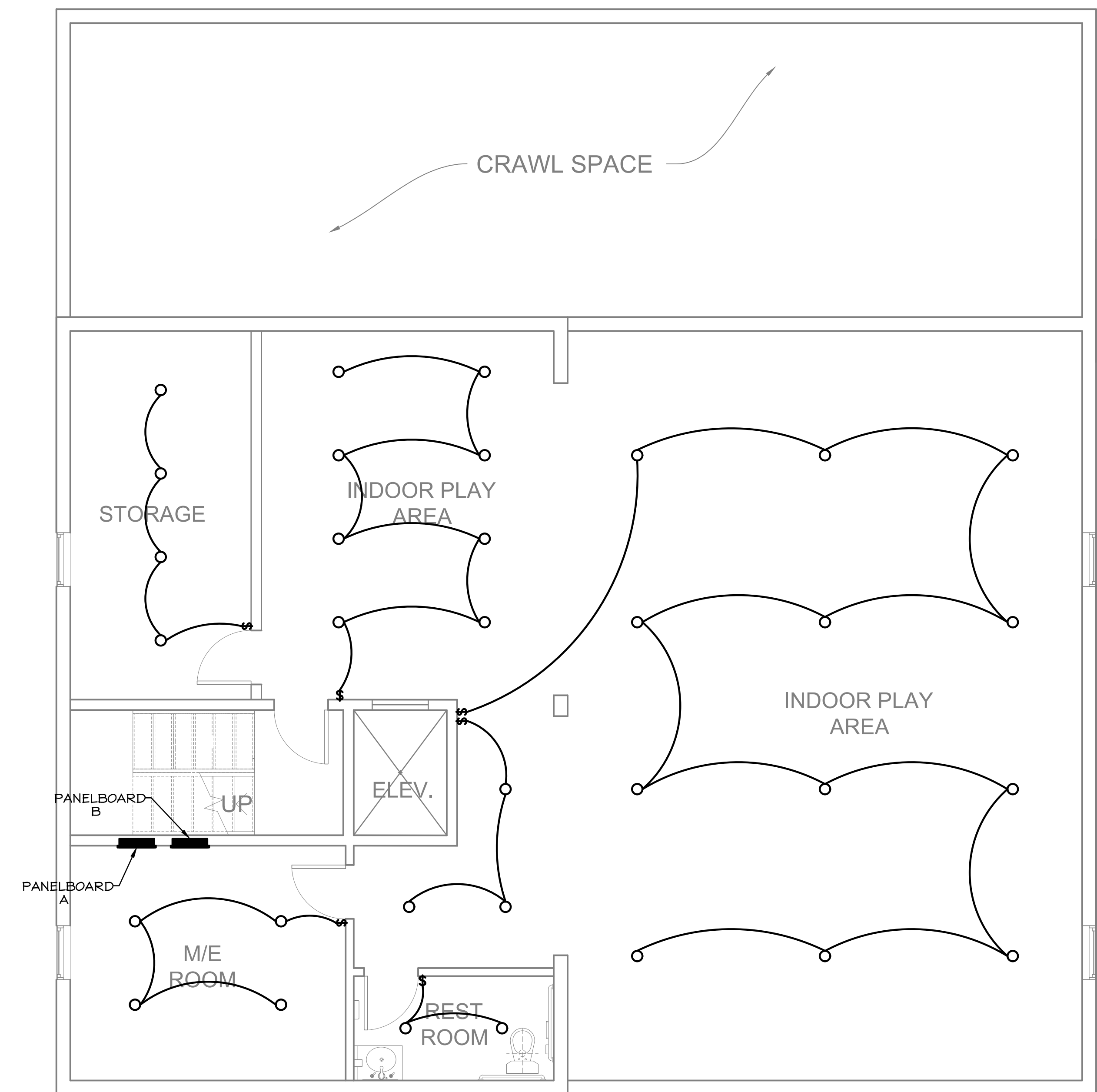
- 1. COORDINATE FIXTURE SCHEDULE WITH OWNER/ARCH FOR EXACT REQUIRED SPECS.
- 2. DRAWINGS ARE DIAGRAMMATICAL BY NATURE AND SHOULD NOT BE SCALED.
- 3. ALL CONTRACTORS PRIOR TO BID SUBMISSION PROCESS SHALL VISIT PROPOSED WORK SITE AND FIELD VERIFY ALL EXISTING CONDITIONS. ANY CONDITIONS THAT DIFFER FROM THAT SHOWN ON THIS PLAN SHALL BE REPORTED TO ARCHITECT/ENGINEER SO THAT NEW AND REVISED BID DRAWINGS OR INFORMATION MAY BE ISSUED. MODIFICATIONS TO SCOPE OF WORK WHICH RESULTS FROM CONTRACTORS NEGLIGENCE TO VISIT WORK SITE PRIOR TO SUBMITTING BID, SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY.
- 4. EXISTING PIPING SHALL BE VERIFIED IN-FIELD.



**KIDZ STUFF CHILD CARE CENTER**  
**1010 EAST 43RD STREET, BALTIMORE, MD 21212**  
**BASEMENT - ELECTRICAL PLANS**

SCALE:  
1/4" = 1'-0"

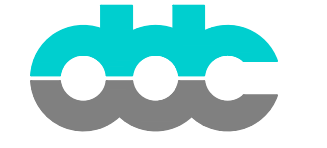
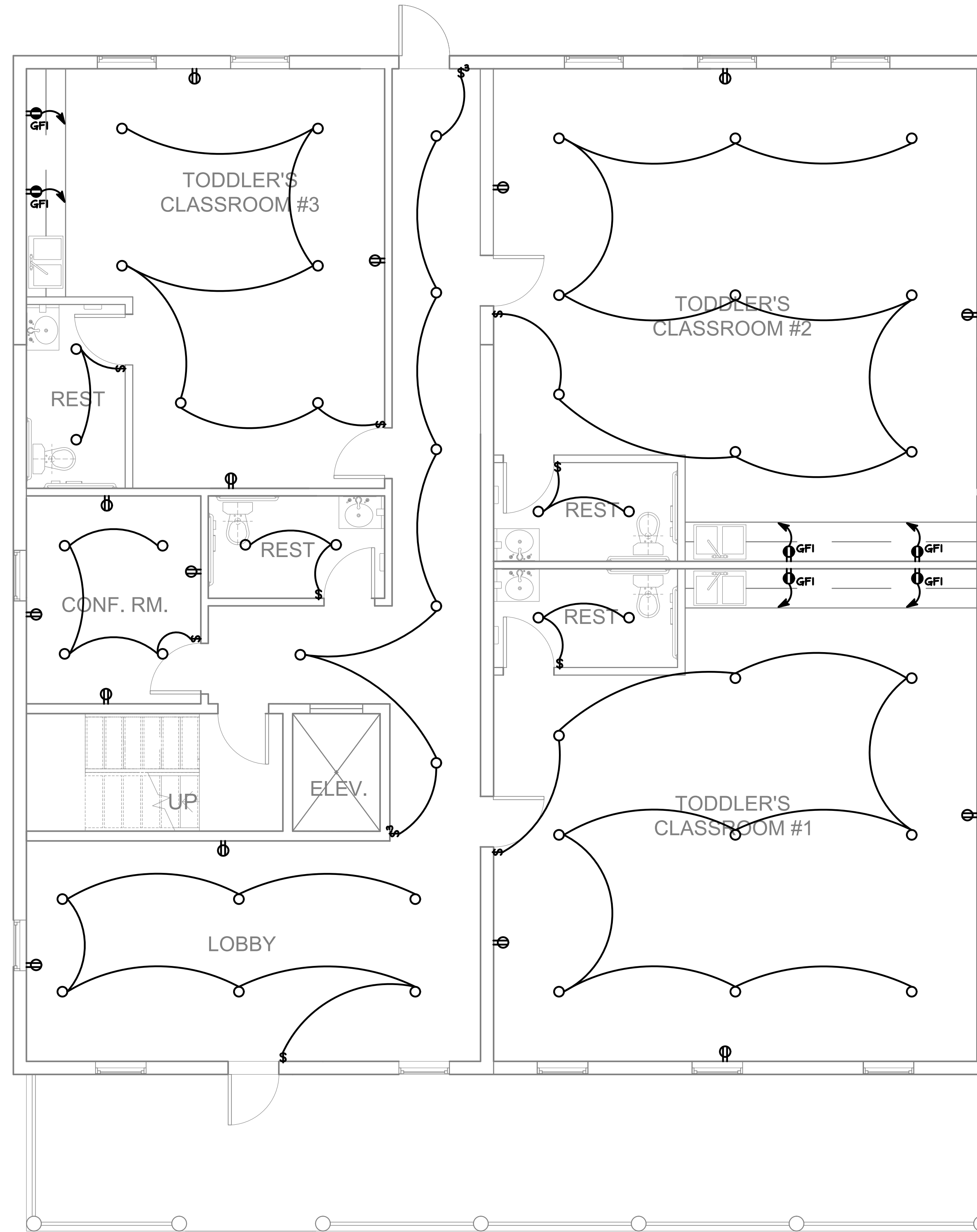
DRAWING NO:  
**E-2**





GENERAL NOTES

- 1. COORDINATE FIXTURE SCHEDULE WITH OWNER/ARCH FOR EXACT REQUIRED SPECS.
- 2. DRAWINGS ARE DIAGRAMMATICAL BY NATURE AND SHOULD NOT BE SCALED.
- 3. ALL CONTRACTORS PRIOR TO BID SUBMISSION PROCESS SHALL VISIT PROPOSED WORK SITE AND FIELD VERIFY ALL EXISTING CONDITIONS. ANY CONDITIONS THAT DIFFER FROM THAT SHOWN ON THIS PLAN SHALL BE REPORTED TO ARCHITECT/ENGINEER SO THAT NEW AND REVISED BID DRAWINGS OR INFORMATION MAY BE ISSUED. MODIFICATIONS TO SCOPE OF WORK WHICH RESULTS FROM CONTRACTORS NEGLIGENCE TO VISIT WORK SITE PRIOR TO SUBMITTING BID, SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY.
- 4. EXISTING PIPING SHALL BE VERIFIED IN-FIELD.



DunlapDesign  
consultants  
(443)742-7227

KIDZ STUFF CHILD CARE CENTER

1010 EAST 43RD STREET, BALTIMORE, MD 21212

1ST FLOOR - ELECTRICAL PLANS

SCALE:

1/4" = 1'-0"

DRAWING NO:

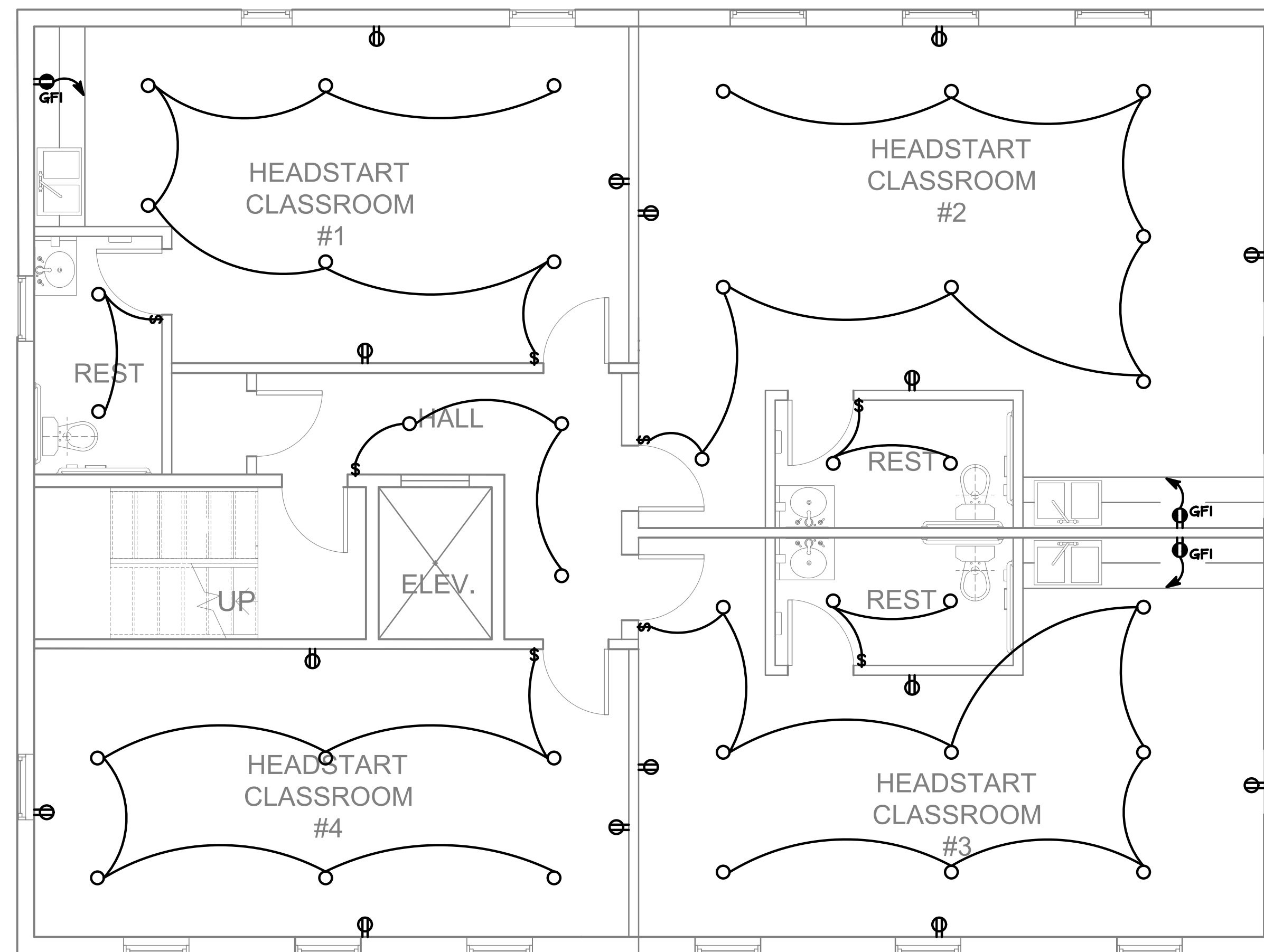
E-3

GENERAL NOTES

- 1. COORDINATE FIXTURE SCHEDULE WITH OWNER/ARCH FOR EXACT REQUIRED SPECS.
- 2. DRAWINGS ARE DIAGRAMMATICAL BY NATURE AND SHOULD NOT BE SCALED.
- 3. ALL CONTRACTORS PRIOR TO BID SUBMISSION PROCESS SHALL VISIT PROPOSED WORK SITE AND FIELD VERIFY ALL EXISTING CONDITIONS. ANY CONDITIONS THAT DIFFER FROM THAT SHOWN ON THIS PLAN SHALL BE REPORTED TO ARCHITECT/ENGINEER SO THAT NEW AND REVISED BID DRAWINGS OR INFORMATION MAY BE ISSUED. MODIFICATIONS TO SCOPE OF WORK WHICH RESULTS FROM CONTRACTORS NEGLIGENCE TO VISIT WORK SITE PRIOR TO SUBMITTING BID, SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY.
- 4. EXISTING PIPING SHALL BE VERIFIED IN-FIELD.



DunlapDesign  
consultants  
(443)742-7227



KIDZ STUFF CHILD CARE CENTER

1010 EAST 43RD STREET, BALTIMORE, MD 21212

2ND FLOOR - ELECTRICAL PLANS

SCALE:

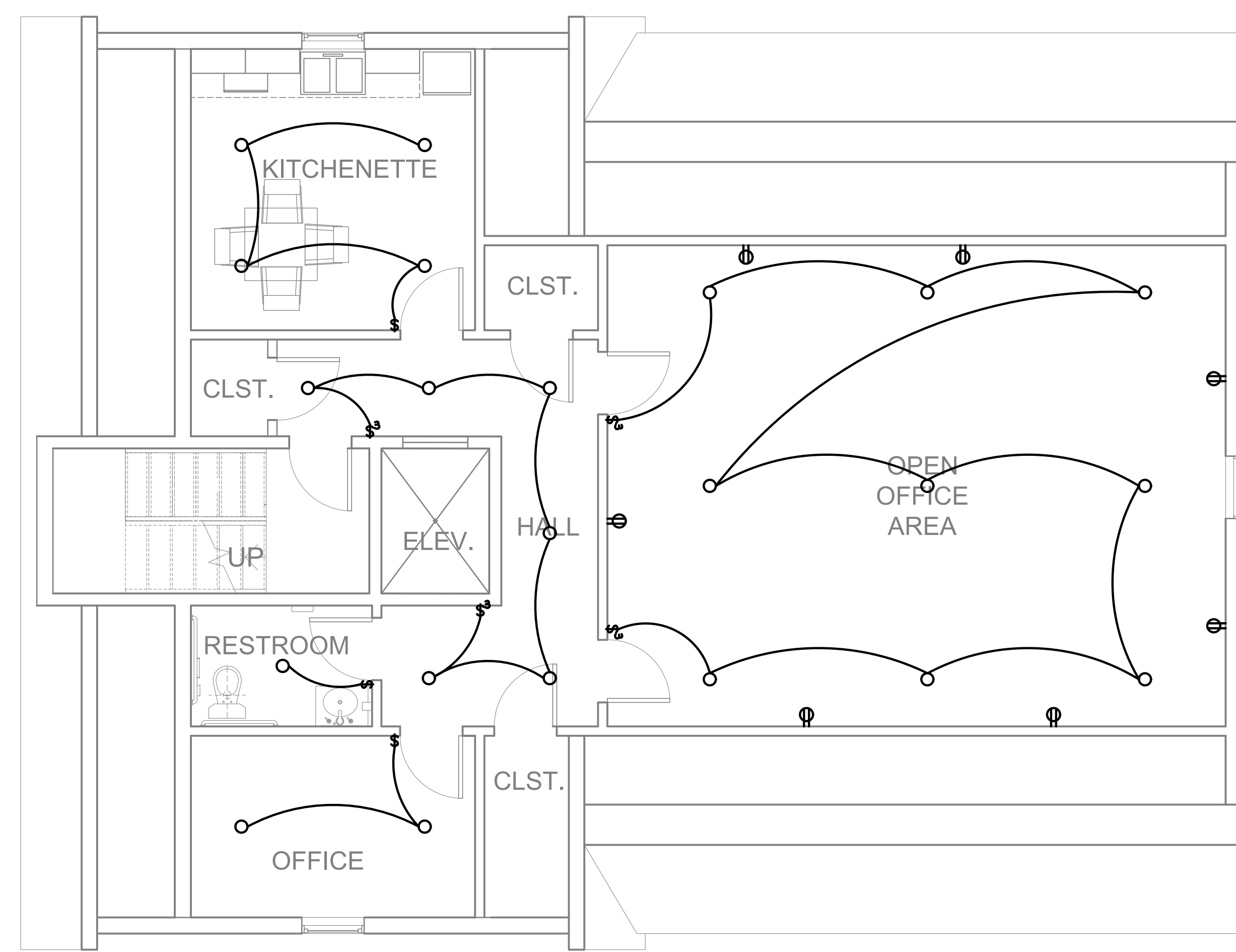
1/4" = 1'-0"

DRAWING NO:

E-4

GENERAL NOTES

1. COORDINATE FIXTURE SCHEDULE WITH OWNER/ARCH FOR EXACT REQUIRED SPECS.
2. DRAWINGS ARE DIAGRAMMATICAL BY NATURE AND SHOULD NOT BE SCALED.
3. ALL CONTRACTORS PRIOR TO BID SUBMISSION PROCESS SHALL VISIT PROPOSED WORK SITE AND FIELD VERIFY ALL EXISTING CONDITIONS. ANY CONDITIONS THAT DIFFER FROM THAT SHOWN ON THIS PLAN SHALL BE REPORTED TO ARCHITECT/ENGINEER SO THAT NEW AND REVISED BID DRAWINGS OR INFORMATION MAY BE ISSUED. MODIFICATIONS TO SCOPE OF WORK WHICH RESULTS FROM CONTRACTORS NEGLIGENCE TO VISIT WORK SITE PRIOR TO SUBMITTING BID, SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY.
4. EXISTING PIPING SHALL BE VERIFIED IN-FIELD.



**KIDZ STUFF CHILD CARE CENTER**  
 1010 EAST 43RD STREET, BALTIMORE, MD 21212  
**ATTIC - ELECTRICAL PLANS**

SCALE:  
1/4" = 1'-0"

DRAWING NO:  
**E-5**

PLUMBING SPECIFICATIONS

1. SCOPE
  - A. PLUMBING CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETE INSTALLATION OF THE SANITARY SEWER SYSTEM (INCLUDING SOIL AND VENT PIPING), WATER SERVICE, CONNECTION TO WATER METER, TAP VALVES, BOXES, HOT AND COLD WATER SUPPLY SYSTEM, PLUMBING FITTINGS, FIXTURES AND TRIM; AND ALL RELATED FITTINGS AND CONTROLS.
  - B. WATER METER FEES BY OWNER.
  - C. ALL EXCAVATION AND BACKFILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION SHALL BE PART OF THIS CONTRACT.
2. CODES AND STANDARDS
 

ALL WORK, MATERIALS AND EQUIPMENT SUPPLIED AND INSTALLED UNDER THIS DIVISION SHALL COMPLY WITH THE LATEST EDITION OF THE IBC OR MBPS CODES AS AMENDED BY THE LOCAL GOVERNING BODY.
3. SUBMITTALS
 

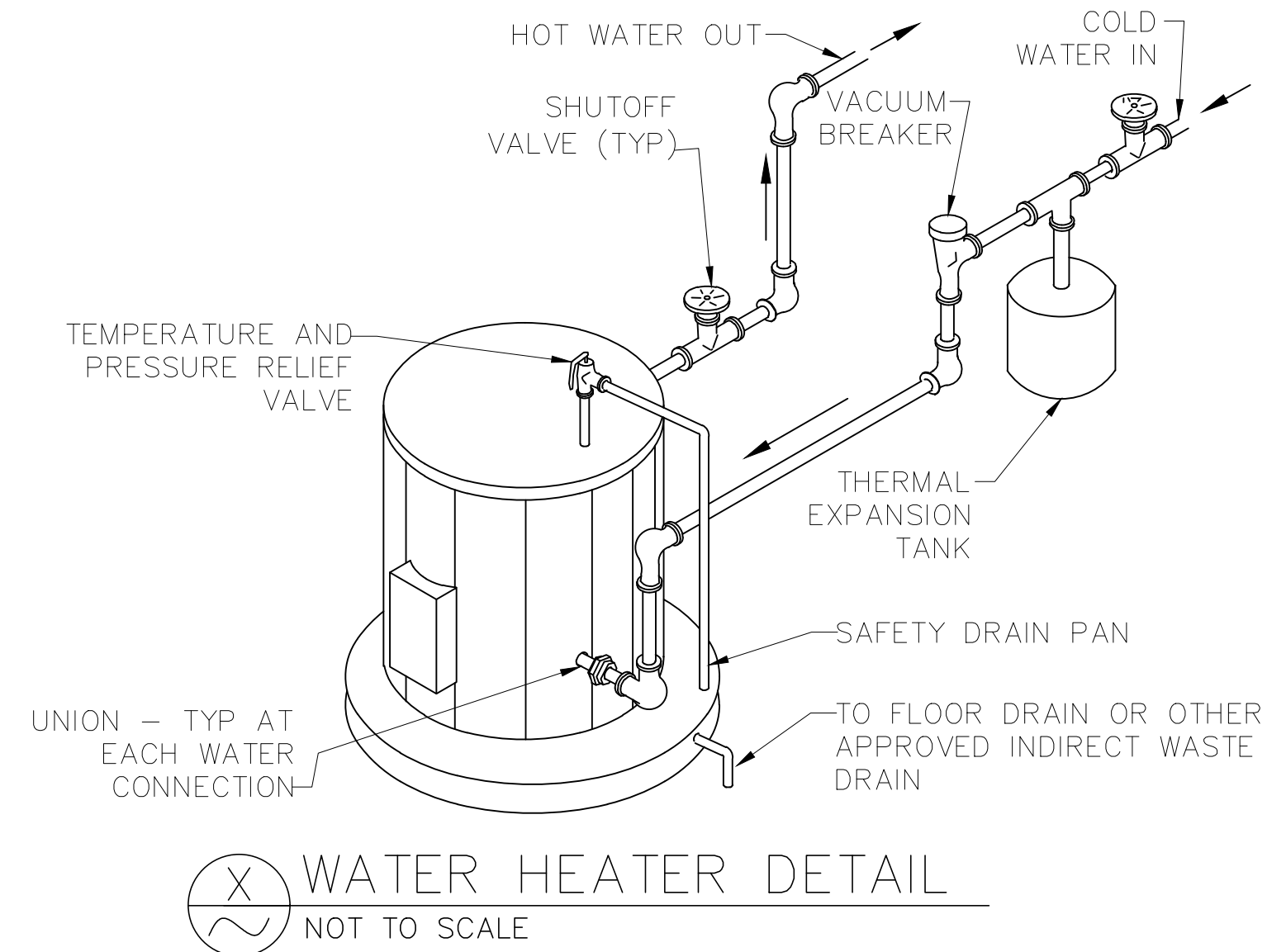
SEE SCHEDULE ON DRAWINGS.
4. PERMITS AND INSPECTIONS
 

ALL PERMITS AND FEES FOR PERMITS AND INSPECTIONS SHALL BE PAID FOR BY THIS CONTRACTOR.
5. MATERIALS
  - A. SANITARY WASTE: PVC (WHERE ALLOWED BY CODE), DUCTILE IRON & CAST IRON, DWV TYPE PIPE AND FITTINGS.
    - a) BELOW FINISHED FIRST SLAB - SCHEDULE 40 DWV (FOAMCORE, CELLURCORE NOT ALLOWED)
    - b) ABOVE FINISHED FIRST FLOOR SLAB FOR SECOND FLOOR WASTE TO BE CAST IRON "NO-HUB"
  - B. ROOF DRAINS: PVC (WHERE ALLOWED BY CODE), DUCTILE IRON & CAST IRON, DWV TYPE PIPE AND FITTINGS.
    - a) BELOW FINISHED FIRST FLOOR SLAB - SCHEDULE 40 DWV (FOAMCORE, CELLURCORE NOT ALLOWED)
    - b) ABOVE FINISHED FIRST FLOOR SLAB TO BE CAST IRON "NO-HUB"
  - C. DOMESTIC WATER PIPING
    - a) ABOVE GRADE - TYPE "L" COPPER SWEATED OR FLANGED
  - D. VENT LINES TO BE SCHEDULE 40 PVC.
  - E. JOINTS TO BE WROUGHT OR CAST BRONZE. LEAD FREE SOLDER IS TO BE USED ON ALL JOINTS.
  - F. PROVIDE AND INSTALL PLUMBING FIXTURES AS SCHEDULED ON DRAWINGS. COMPLETE SYSTEM (FIXTURES AND EQUIPMENT) SHALL BE GIVEN AN IN-SERVICE TEST AFTER COMPLETION OF INSTALLATION.
  - G. UNDERGROUND VALVES SHALL BE INSTALLED IN PRECAST CONCRETE BOXES.
6. INSTALLATION
  - A. USE MANUFACTURER'S TEMPLATES. CAULK WHERE REQUIRED. PROVIDE BLOCKING FOR ALL FIXTURES AS REQUIRED. ALL WATER PIPING WITHIN THE BUILDING SHALL BE COPPER AND RUN CONTINUOUS ABOVE THE CEILING. NO JOINTS BELOW SLAB. ALL PIPING SHALL BE PROPERLY SUPPORTED WITH HANGERS OF COMPATIBLE MATERIAL AND ALL WATER PIPES PASSING THROUGH CONCRETE SHALL BE SLEEVED TO PREVENT CHEMICAL REACTIONS.
  - B. ALL HOT & RETURN WATER PIPING TO BE INSULATED. MATERIAL TO BE 1" SECTIONAL GLASS FIBER WITH FACTORY APPLIED, ALL PURPOSE, FIRE RETARDANT JACKET. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
  - C. VERIFY INVERTS OF SEWER AND DRAINAGE CONNECTIONS BEFORE INSTALLING SEWER LINES. BUILDING DRAINAGE SYSTEM IS BASED ON 1/8"FT. MIN. SLOPE.
  - D. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
  - E. HOSE BIBBS SHALL BE INSTALLED WHERE INDICATED ON THE DRAWINGS AND SHALL HAVE SEPARATE 3/4" MAIN FEED. HOSE BIBBS SHALL HAVE HOSE CONNECTION VACUUM BREAKER. FASTEN SECURELY TO WALL. INSTALL 18" ABOVE FINISHED SLAB.
7. CLEAN-UP
 

ON COMPLETION OF WORK, REMOVE ALL EXCESS MATERIAL, EQUIPMENT AND DEBRIS. POLISH ALL PLATED OR POLISHED FITTINGS. LEAVE WORK IN CLEAN CONDITION PER GENERAL CONDITIONS.
8. GUARANTEE
 

THE PLUMBING CONTRACTOR SHALL DELIVER TO OWNER A WRITTEN GUARANTEE THAT THE PLUMBING WORK IS FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR, FROM THE DATE OF FINAL ACCEPTANCE, AND WILL REPAIR OR REPLACE ALL WORK WHICH BECOMES DEFECTIVE (NOT DUE TO ORDINARY USE) AT NO EXPENSE TO THE OWNER.

| P L U M B I N G F I X T U R E S C H E D U L E |                         |                  |      |     |      |     | REMARKS   |
|---|-------------------------|------------------|------|-----|------|-----|---|
| TAG   | FUNCTION                | CONNECTION SIZES |      |     |      |     |   |
|   |                         | CW               | HW   | SAN | VENT | GAS |   |
| WC-1  | FLUSH TANK WATER CLOSET | 1/2"             | -    | 3"  | 2"   | -   | COORDINATE WITH ARCH/OWNER FOR FIXTURE SPECS. 1.28 GPF MAX.   |
| L-1   | LAVATORY SINK           | 1/2"             | 1/2" | 2"  | 2"   | -   | COORDINATE WITH ARCH/OWNER FOR FIXTURE SPECS. 1.5 GPM MAX.  |
| S-1   | SINK                    | 1/2"             | 1/2" | 2"  | 2"   | -   | COORDINATE WITH ARCH/OWNER FOR FIXTURE SPECS. 1.8 GPM MAX.  |
| WH-1  | WATER HEATER            | 3/4"             | 3/4" | -   | -    | -   | 'A.O. SMITH' MODEL: ENT-40, WATER HEATER, 4.5 KW, 38 GALLON CAPACITY, 19" OUTER JACKET DIAMETER, TOP WATER CONNECTIONS. |



| P L U M B I N G L E G E N D |  |
|-----------------------------|--|
| (S-D)                       | FIXTURE/EQUIPMENT TAG (SEE FIXTURE SCHEDULE) |
| -----                       | DOMESTIC COLD WATER PIPING                   |
| -----                       | DOMESTIC HOT WATER PIPING                    |
| ----->                      | DOMESTIC HOT WATER RECIRC. PIPING            |
| -----o-----                 | NATURAL GAS PIPING                           |
| -----                       | SANITARY WASTE PIPING                        |
| -----                       | SANITARY VENT PIPING                         |
| -----                       | STORM WATER PIPING                           |
| o                           | TOILET FLANGE                                |
| o                           | FLOOR DRAIN / AREA DRAIN                     |
| o                           | WALL CLEAN OUT                               |
| o                           | FLOOR CLEAN OUT                              |
| o                           | GROUND CLEAN OUT                             |
| o                           | PIPE UP                                      |
| o                           | PIPE DOWN                                    |
| o                           | DOMESTIC HOT WATER RECIRCULATION PUMP        |
| o                           | BACKFLOW PREVENTER                           |
| o                           | SHUTOFF VALVE                                |
| o                           | CONNECTION POINT TO EXISTING                 |

NOTES:



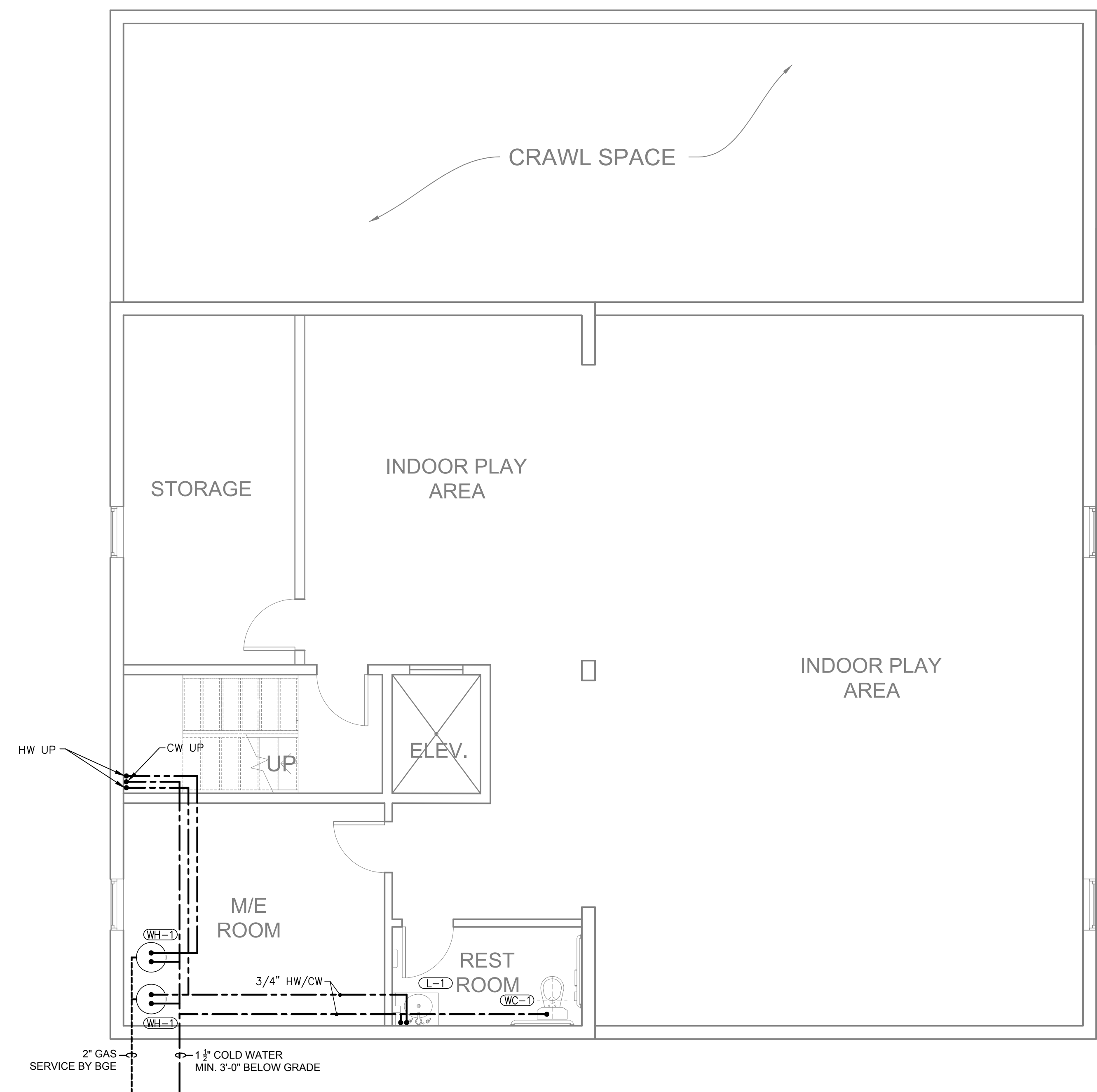
KIDZ STUFF CHILD CARE CENTER  
 1010 EAST 43RD STREET, BALTIMORE, MD 21212  
 ELECTRICAL SPECIFICATIONS

SCALE:  
NO SCALE

DRAWING NO:  
**P-1**

GENERAL NOTES

1. COORDINATE FIXTURE SCHEDULE WITH OWNER/ARCH FOR EXACT REQUIRED SPECS.
2. DRAWINGS ARE DIAGRAMMATICAL BY NATURE AND SHOULD NOT BE SCALED.
3. ALL CONTRACTORS PRIOR TO BID SUBMISSION PROCESS SHALL VISIT PROPOSED WORK SITE AND FIELD VERIFY ALL EXISTING CONDITIONS. ANY CONDITIONS THAT DIFFER FROM THAT SHOWN ON THIS PLAN SHALL BE REPORTED TO ARCHITECT/ENGINEER SO THAT NEW AND REVISED BID DRAWINGS OR INFORMATION MAY BE ISSUED. MODIFICATIONS TO SCOPE OF WORK WHICH RESULTS FROM CONTRACTORS NEGLIGENCE TO VISIT WORK SITE PRIOR TO SUBMITTING BID, SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY.
4. EXISTING PIPING SHALL BE VERIFIED IN-FIELD.



KIDZ STUFF CHILD CARE CENTER

1010 EAST 43RD STREET, BALTIMORE, MD 21212

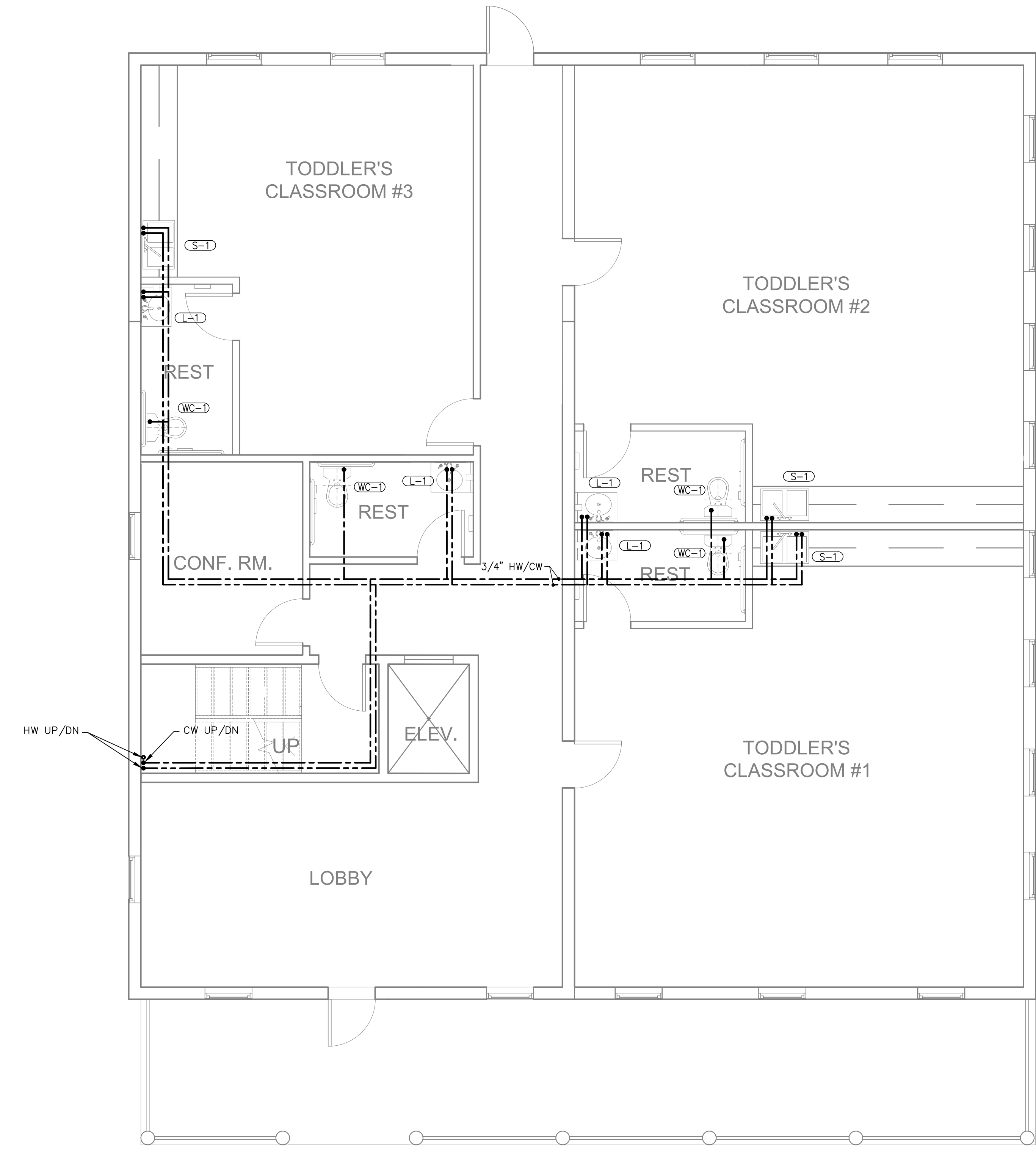
BASEMENT - PLUMBING PLAN

SCALE:  
1/4" = 1'-0"

DRAWING NO:  
**P-2**

GENERAL NOTES

1. COORDINATE FIXTURE SCHEDULE WITH OWNER/ARCH FOR EXACT REQUIRED SPECS.
2. DRAWINGS ARE DIAGRAMMATICAL BY NATURE AND SHOULD NOT BE SCALED.
3. ALL CONTRACTORS PRIOR TO BID SUBMISSION PROCESS SHALL VISIT PROPOSED WORK SITE AND FIELD VERIFY ALL EXISTING CONDITIONS. ANY CONDITIONS THAT DIFFER FROM THAT SHOWN ON THIS PLAN SHALL BE REPORTED TO ARCHITECT/ENGINEER SO THAT NEW AND REVISED BID DRAWINGS OR INFORMATION MAY BE ISSUED. MODIFICATIONS TO SCOPE OF WORK WHICH RESULTS FROM CONTRACTORS NEGLIGENCE TO VISIT WORK SITE PRIOR TO SUBMITTING BID, SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY.
4. EXISTING PIPING SHALL BE VERIFIED IN-FIELD.



**KIDZ STUFF CHILD CARE CENTER**  
 1010 EAST 43RD STREET, BALTIMORE, MD 21212  
 1ST FLOOR - PLUMBING PLAN

SCALE:  
 1/4" = 1'-0"

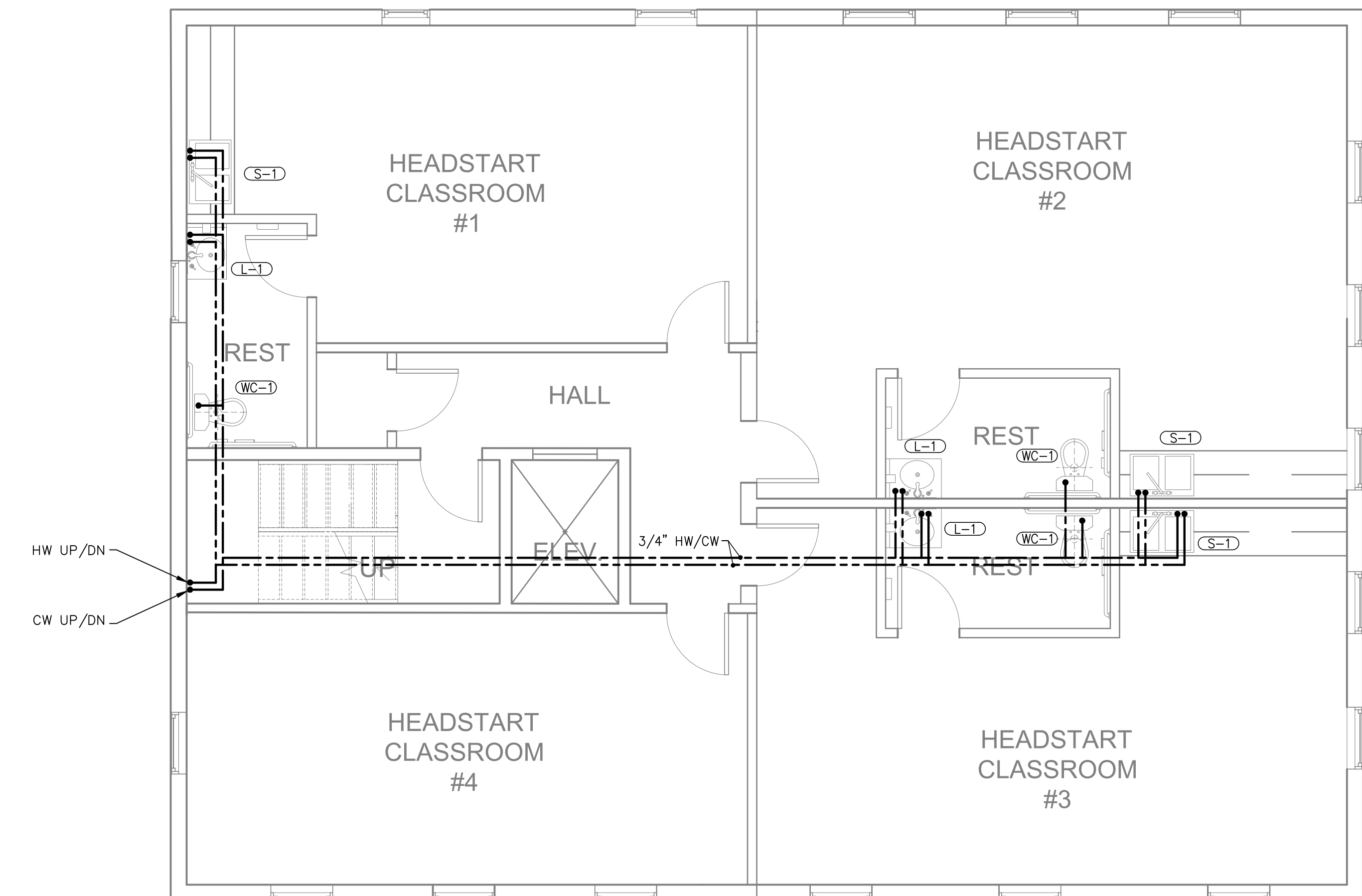
DRAWING NO:  
**P-3**

GENERAL NOTES

1. COORDINATE FIXTURE SCHEDULE WITH OWNER/ARCH FOR EXACT REQUIRED SPECS.
2. DRAWINGS ARE DIAGRAMMATICAL BY NATURE AND SHOULD NOT BE SCALED.
3. ALL CONTRACTORS PRIOR TO BID SUBMISSION PROCESS SHALL VISIT PROPOSED WORK SITE AND FIELD VERIFY ALL EXISTING CONDITIONS. ANY CONDITIONS THAT DIFFER FROM THAT SHOWN ON THIS PLAN SHALL BE REPORTED TO ARCHITECT/ENGINEER SO THAT NEW AND REVISED BID DRAWINGS OR INFORMATION MAY BE ISSUED. MODIFICATIONS TO SCOPE OF WORK WHICH RESULTS FROM CONTRACTORS NEGLIGENCE TO VISIT WORK SITE PRIOR TO SUBMITTING BID, SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY.
4. EXISTING PIPING SHALL BE VERIFIED IN-FIELD.



**KIDZ STUFF CHILD CARE CENTER**  
**1010 EAST 43RD STREET, BALTIMORE, MD 21212**  
**2ND FLOOR - PLUMBING PLAN**

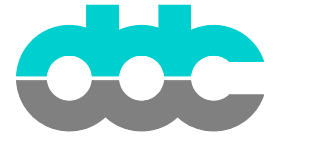


SCALE:  
1/4" = 1'-0"

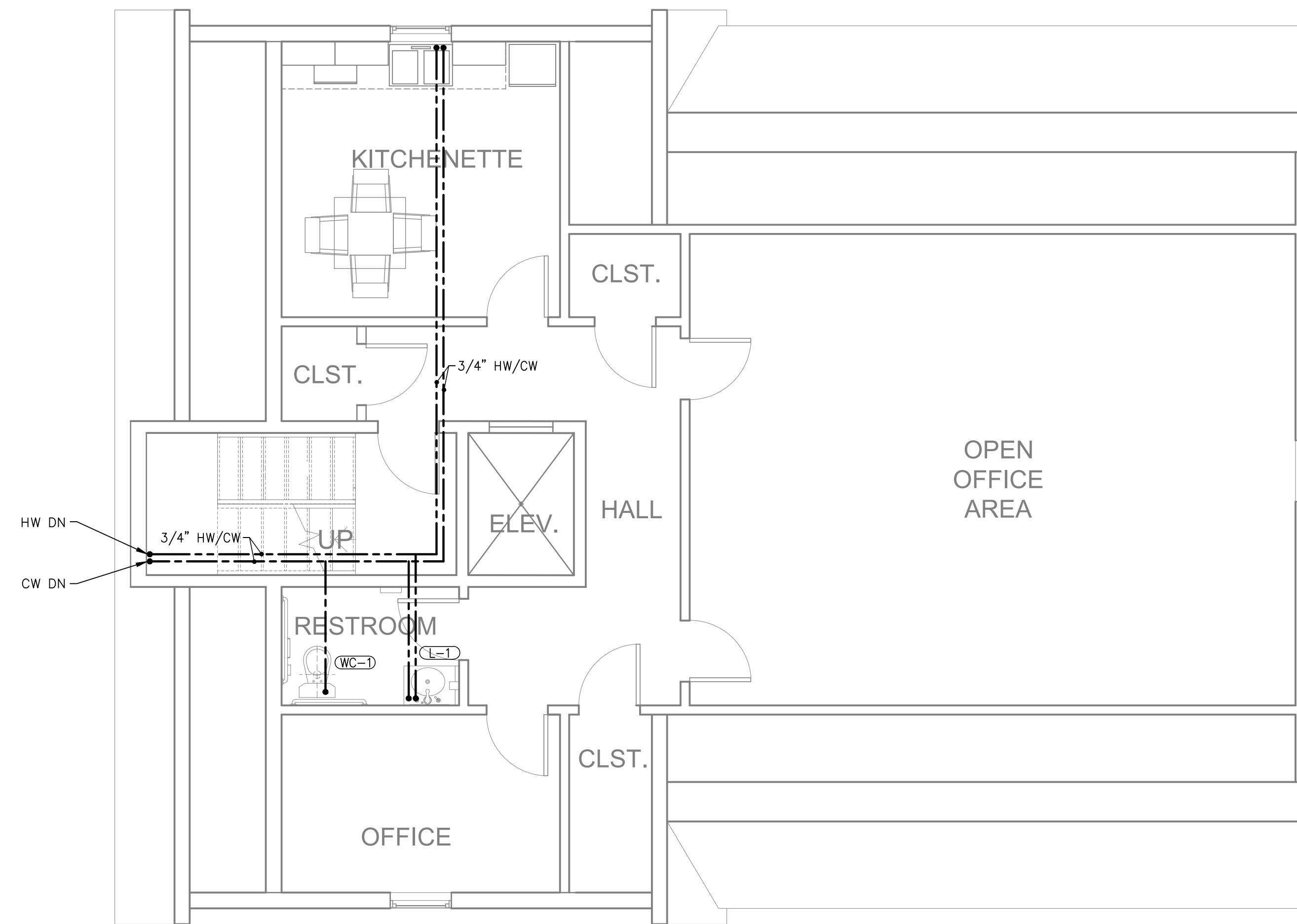
DRAWING NO:  
**P-4**

GENERAL NOTES

1. COORDINATE FIXTURE SCHEDULE WITH OWNER/ARCH FOR EXACT REQUIRED SPECS.
2. DRAWINGS ARE DIAGRAMMATICAL BY NATURE AND SHOULD NOT BE SCALED.
3. ALL CONTRACTORS PRIOR TO BID SUBMISSION PROCESS SHALL VISIT PROPOSED WORK SITE AND FIELD VERIFY ALL EXISTING CONDITIONS. ANY CONDITIONS THAT DIFFER FROM THAT SHOWN ON THIS PLAN SHALL BE REPORTED TO ARCHITECT/ENGINEER SO THAT NEW AND REVISED BID DRAWINGS OR INFORMATION MAY BE ISSUED. MODIFICATIONS TO SCOPE OF WORK WHICH RESULTS FROM CONTRACTORS NEGLIGENCE TO VISIT WORK SITE PRIOR TO SUBMITTING BID, SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY.
4. EXISTING PIPING SHALL BE VERIFIED IN-FIELD.



DunlapDesign  
consultants  
(443)742-7227



KIDZ STUFF CHILD CARE CENTER

1010 EAST 43RD STREET, BALTIMORE, MD 21212

ATTIC - PLUMBING PLAN

SCALE:

1/4" = 1'-0"

DRAWING NO:

P-5



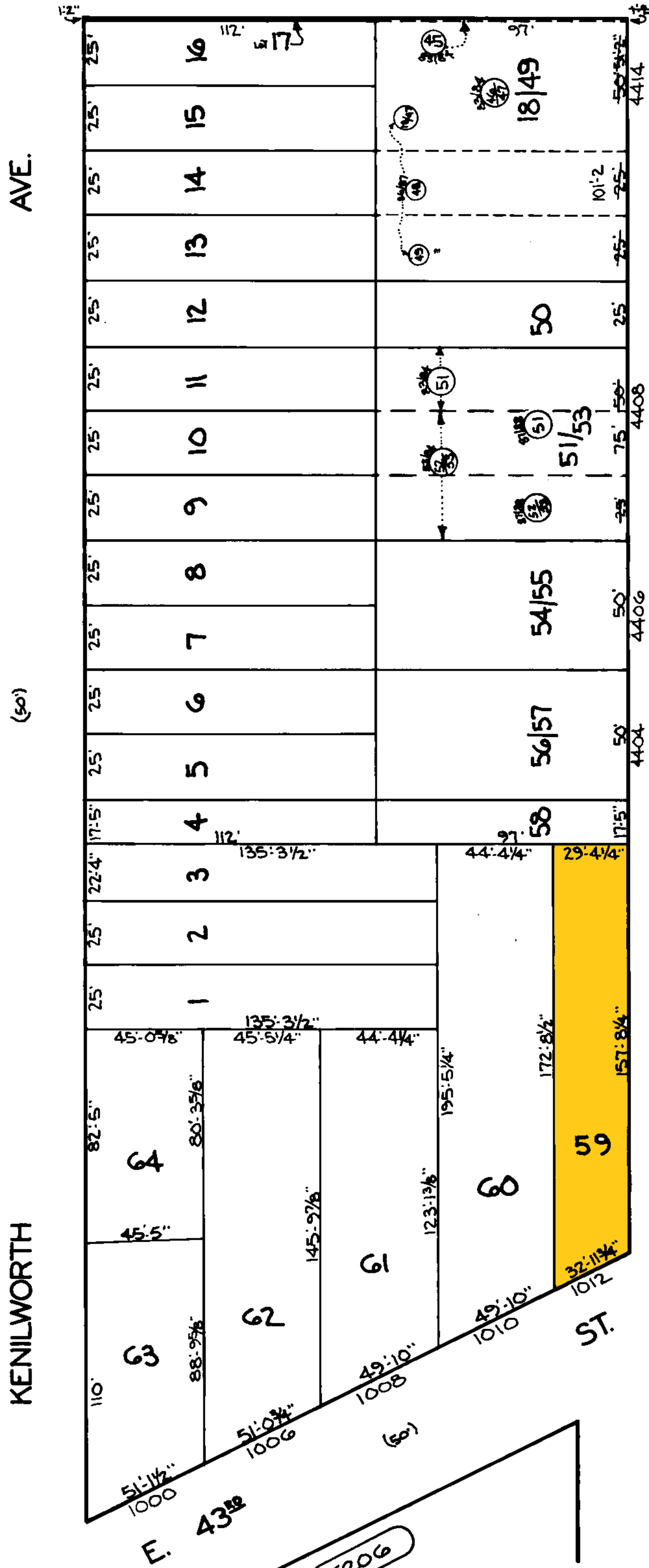
**REVISIONS**

BLK. RD'WN PER DEEDS & P.L.S. CH. 54. 84-393  
 LOTS 18/47, 48/49 CONS'D PER O.O. C. 54 87-187  
 LOTS 51, 52/53 CONS'D PER O.O. CH. 54. 88-032

5198

E. COLD SPRING (80') LANE

5191



ALAMEDA

(80')

THE

(120')

5267

(60')

ADRIAN AVE.

TRACED BY: *N.B. Beatty*  
 LETTERED BY: *N.B. Beatty*  
 CHECKED BY:

MINEIRA AVE.

5206

**NOTICE**

THIS IS A REAL PROPERTY PLAT AS PROVIDED FOR UNDER ARTICLE 76(d) OF THE CITY CHARTER IT IS COMPILED FROM TITLE AND OTHER SOURCES AND IS NOT AN AUTHENTIC SURVEY.

CITY OF BALTIMORE  
 DEPARTMENT OF PUBLIC WORKS

PROPERTY LOCATION DIVISION  
 WARD 27 SECTION 41

BLOCK 5192

SCALE 1" = 50' DATE FEB, 1984